



Conservation Commission AGENDA

Thursday, August 28, 2025 - 6:00 PM

Regular Meeting
Agawam Senior Center
954 Main Street
Agawam, MA 01001

A. Conservation Commission

- 1) 6:00PM REQUEST FOR DETERMINATION-511 School Street
- 2) PUBLIC HEARING CONT.-NOTICE OF INTENT-1014 North St Ext-VIP Homes & Associates, LLC
- 3) ENFORCEMENT ORDER UPDATES
- 4) APPROVAL OF MINUTES-July 10, 2025, July 24, 2025, & August 14, 2025
- 5) Correspondence and Complaints



Massachusetts Department of Environmental Protection
Bureau of Water Resources - Wetlands

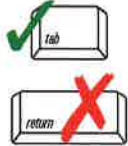
WPA Form 1- Request for Determination of Applicability

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Municipality _____

A. General Information

Important:
When filling out
forms on the
computer, use only
the **tab** key to move
your cursor - do not
use the return key.



1. Applicant:
Jennifer Bonfiglio
First Name Last Name
36 Main St.
Address
Agawam MA 01001
City/Town State Zip Code
(413) 726-9742 JBonfiglio@agawam.ma.us
Phone Number Email Address
2. Property Owner (if different from Applicant):
Town of Agawam
First Name Last Name
Address
36 Main Street MA 01001
City/Town State Zip Code
413-726-9742
Phone Number Email Address (if known)
3. Representative (if any)
John Milos
First Name Last Name
Company Name
77 Meadow St.
Address
Holyoke MA 01040
City/Town State Zip Code
508-873-9837 johnm@redbranchlandscape.com
Phone Number Email Address (if known)

B. Project Description

1. a. Project Location (use maps and plans to identify the location of the area subject to this request):

511 School St	Agawam
Street Address	City/Town
42.07640	-72.59345
Latitude (Decimal Degrees Format with 5 digits after decimal e.g. XX.XXXXX)	Longitude (Decimal Degrees Format with 5 digits after decimal e.g. -XX.XXXXX)
N12 8 26	N12 8 26
Assessors' Map Number	Assessors' Lot/Parcel Number

-
- b. Area Description (use additional paper, if necessary):

Existing Flagpole location, south east corner of large grass clearing west of wetland

-
-
- c. Plan and/or Map Reference(s): (use additional paper if necessary)

Google Earth Imagery	2025
Title	Date
Layout Drawing	6-24-2025
Title	Date

[How to find Latitude
and Longitude](#)

[and how to convert
to decimal degrees](#)



Massachusetts Department of Environmental Protection
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Municipality _____

B. Project Description (cont.)

2. a. Activity/Work Description (use additional paper and/or provide plan(s) of Activity, if necessary):

Remove existing flagpole, install (7) new flagpoles, brick paving, benches, planting and new signage

- b. Identify provisions of the Wetlands Protection Act or regulations which may exempt the applicant from having to file a Notice of Intent for all or part of the described work (use additional paper, if necessary).

3. a. If this application is a Request for Determination of Scope of Alternatives for work in the Riverfront Area, indicate the one classification below that best describes the project.

- ☐ Single family house on a lot recorded on or before 8/1/96
- ☐ Single family house on a lot recorded after 8/1/96
- ☐ Expansion of an existing structure on a lot recorded after 8/1/96
- ☐ Project, other than a single-family house or public project, where the applicant owned the lot before 8/7/96
- ☐ New agriculture or aquaculture project
- ☐ Public project where funds were appropriated prior to 8/7/96
- ☐ Project on a lot shown on an approved, definitive subdivision plan where there is a recorded deed restriction limiting total alteration of the Riverfront Area for the entire subdivision
- ☐ Residential subdivision; institutional, industrial, or commercial project
- ☒ Municipal project
- ☐ District, county, state, or federal government project
- ☐ Project required to evaluate off-site alternatives in more than one municipality in an Environmental Impact Report under MEPA or in an alternatives analysis pursuant to an application for a 404 permit from the U.S. Army Corps of Engineers or 401 Water Quality Certification from the Department of Environmental Protection.

- b. Provide evidence (e.g., record of date subdivision lot was recorded) supporting the classification above (use additional paper and/or attach appropriate documents, if necessary.)

Attached



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Bureau of Water Resources - Wetlands

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Municipality _____

C. Determinations

1. I request the Agawam make the following determination(s). Check any that apply:
Conservation Commission

- ☐ a. whether the **area** depicted on plan(s) and/or map(s) referenced above is an area subject to jurisdiction of the Wetlands Protection Act.
- ☐ b. whether the **boundaries** of resource area(s) depicted on plan(s) and/or map(s) referenced above are accurately delineated.
- ☒ c. whether the **Activities** depicted on plan(s) referenced above is subject to the Wetlands Protection Act and its regulations.
- ☐ d. whether the area and/or Activities depicted on plan(s) referenced above is subject to the jurisdiction of any **municipal wetlands' ordinance** or **bylaw** of:

Name of Municipality

- ☐ e. whether the following **scope of alternatives** is adequate for Activities in the Riverfront Area as depicted on referenced plan(s).
- _____

D. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Request for Determination of Applicability and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge.

I further certify that the property owner, if different from the applicant, and the appropriate DEP Regional Office were sent a complete copy of this Request (including all appropriate documentation) simultaneously with the submittal of this Request to the Conservation Commission.

Failure by the applicant to send copies in a timely manner may result in dismissal of the Request for Determination of Applicability.

Signatures:

I also understand that notification of this Request will be placed in a local newspaper at my expense in accordance with Section 10.05(3)(b)(1) of the Wetlands Protection Act regulations.

Jennifer Dorigio
Signature of Applicant

8/7/25
Date

John Milos
Signature of Representative (if any)

8/7/2025
Date



Client
Town of Agawam

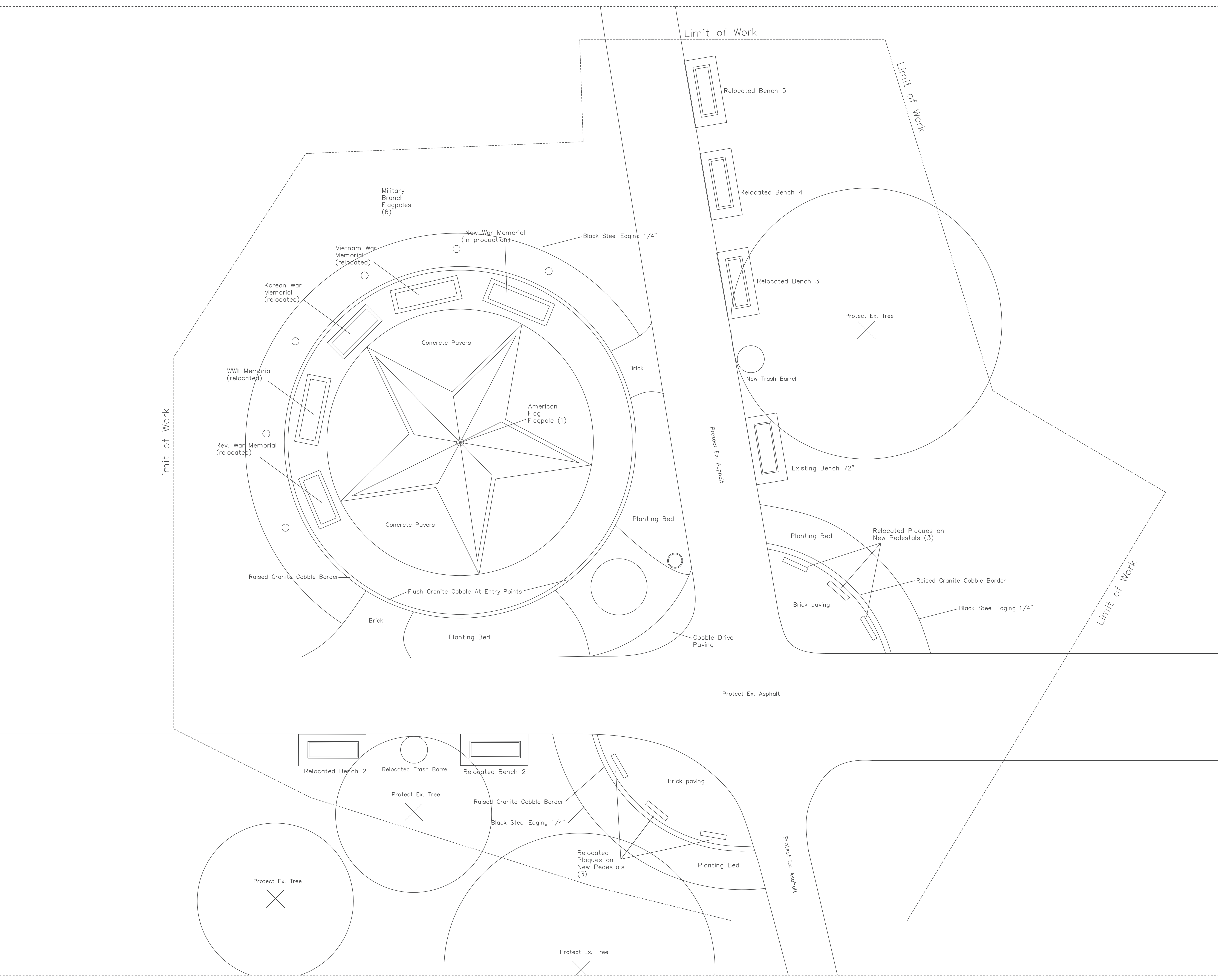
Project
Veterans Memorial Plaza
At School Street Park

Existing Con./Demo Plan

Drawn Scale Date

Drawing Number	Chkd	Issue
NUMBER	XX	X





C	FOR CONSTRUCTION	
B	TENDER ISSUE	
A	CERTIFICATION ISSUE	
Issue	Revisions	
RED BRANCH LANDSCAPE CONSTRUCTION 		
Client	Town of Agawam	
Project	Veterans Memorial Plaza At School Street Park	
Title	Layout Plan	
Drawn	Scale	Date
JM		6/24/2025
Drawing Number	Chkd	Issue
NUMBER	XX	X



Client

Town of Agawam

Project

Veterans Memorial Plaza
At School Street Park

Title

Dimension Plan

Drawn

Scale

Date

JM

6/24/2025

Drawing Number

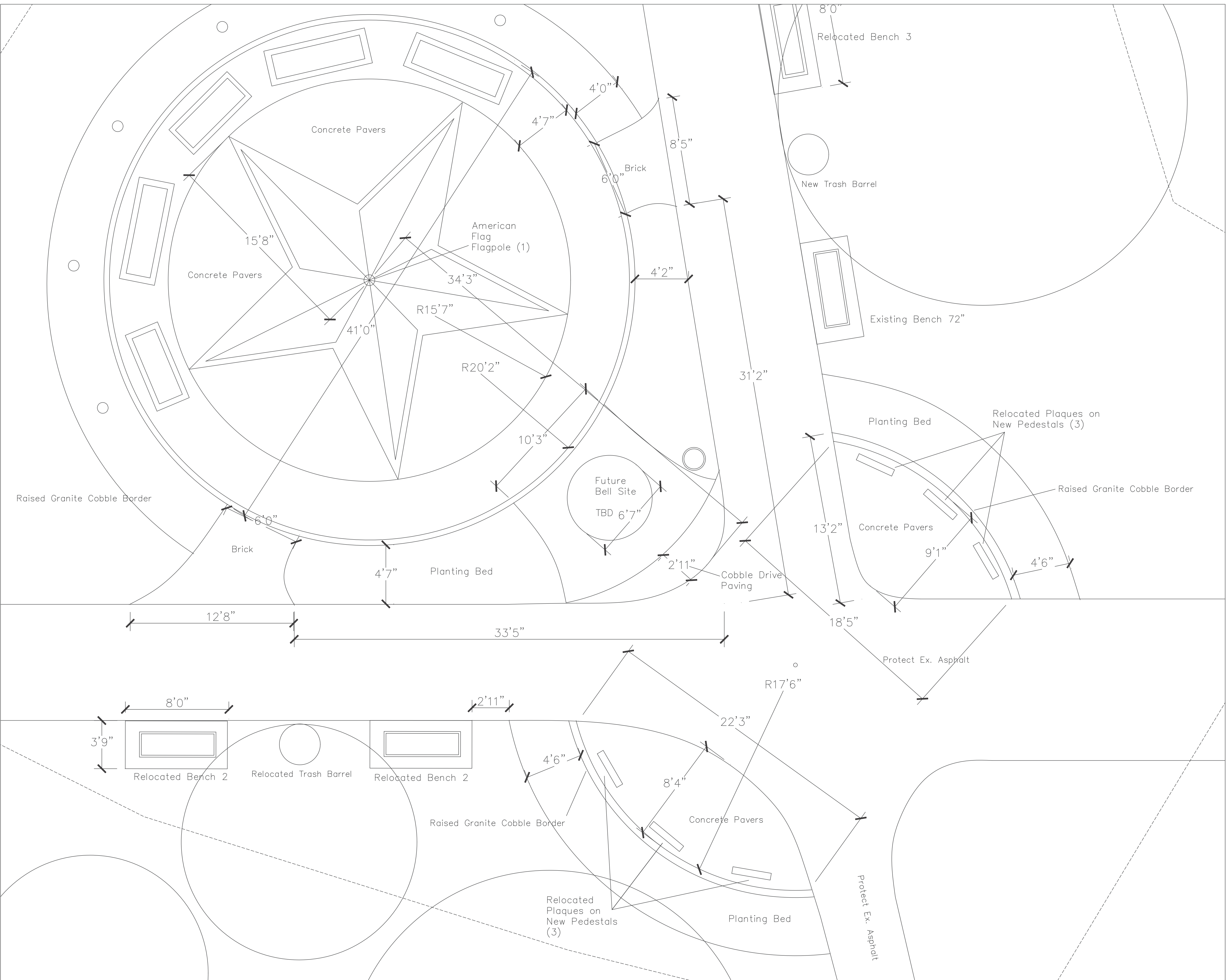
Chkd

Issue

NUMBER

XX

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Client

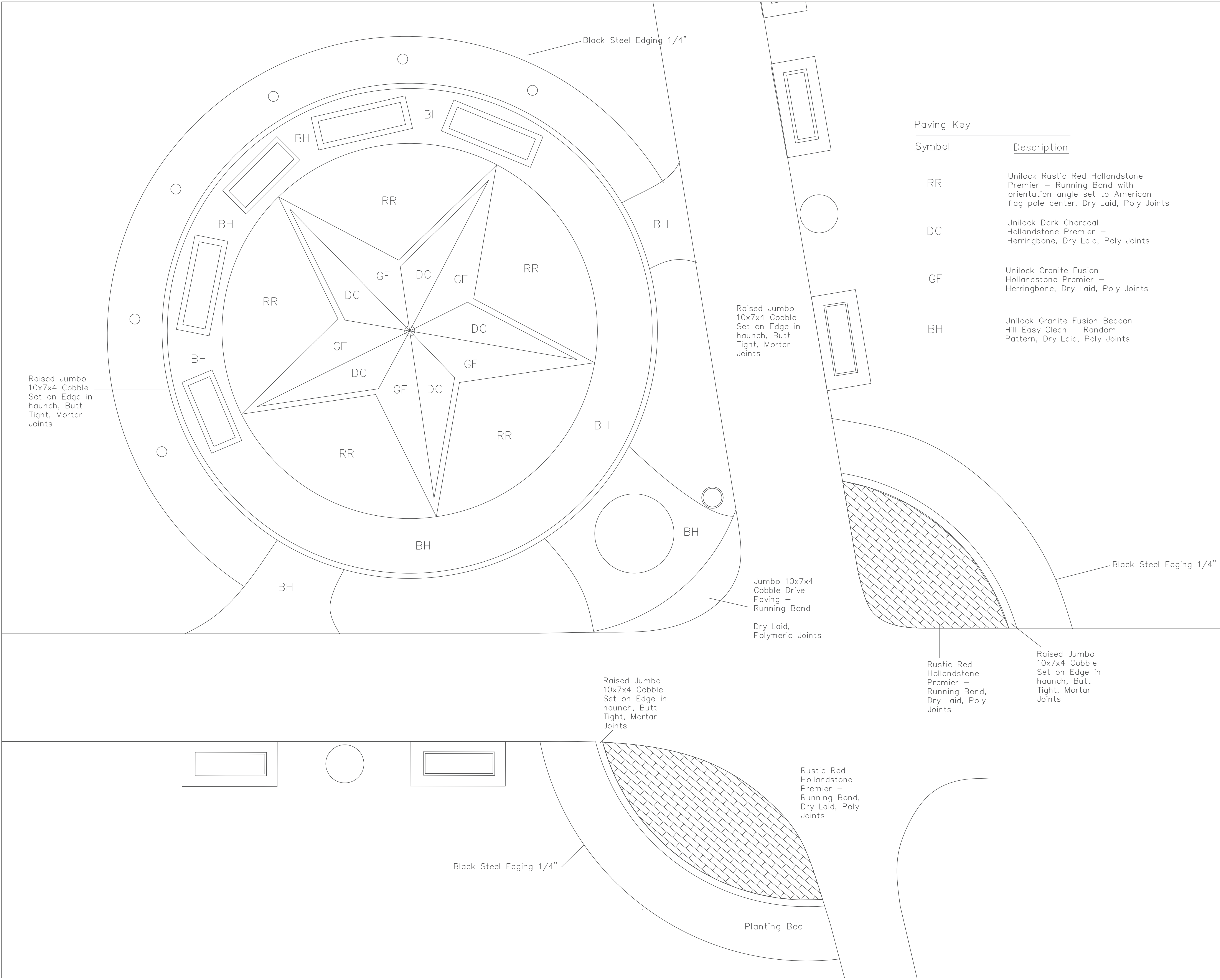
Town of Agawam

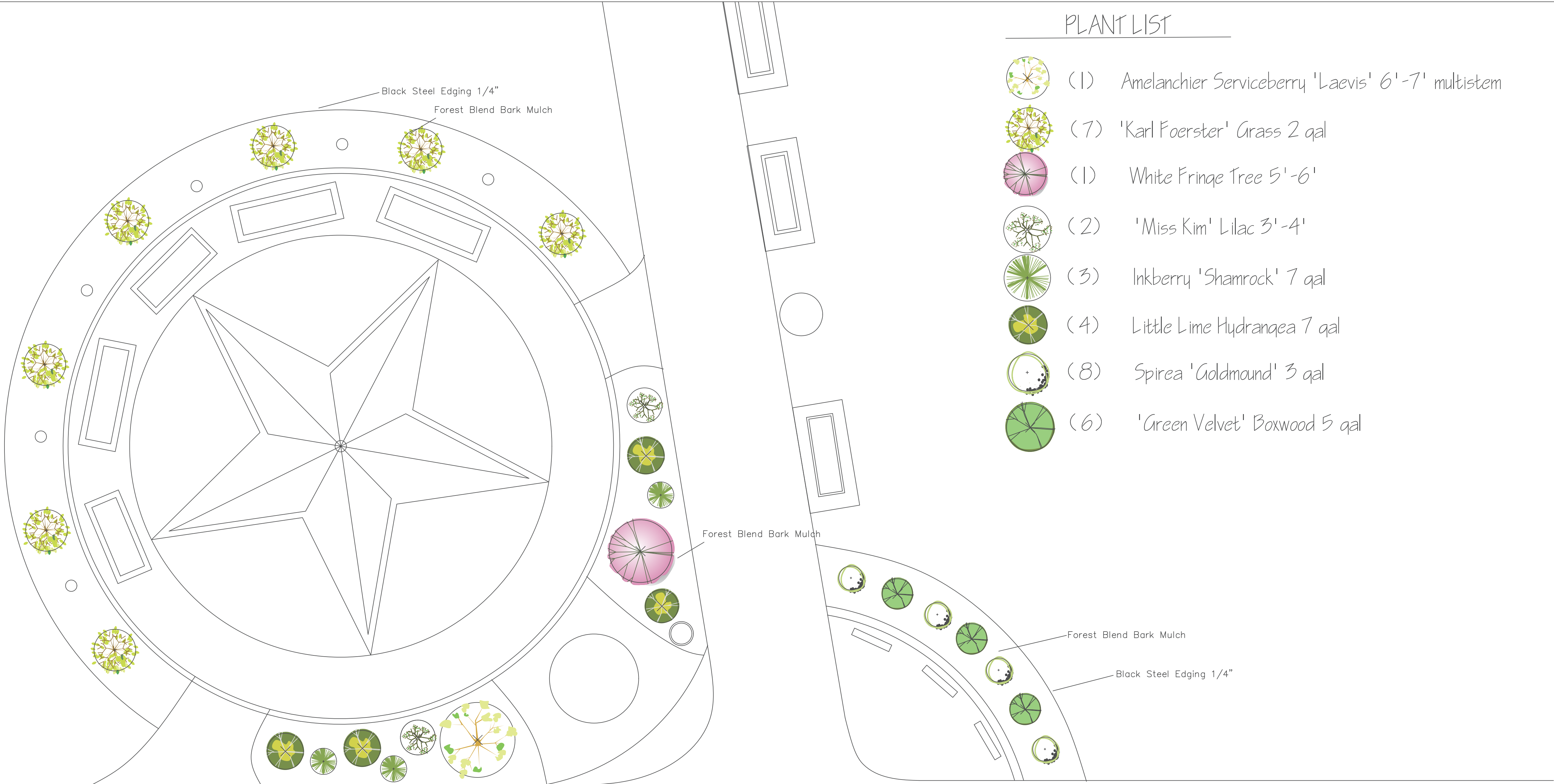
Project

Veterans Memorial Plaza
At School Street Park

Paving Plan

Drawn	Scale	Date	
		6/24/2025	
Drawing Number	Chkd	Issue	
NUMBER	XX	X	





PLANT LIST

- (1) Amelanchier Serviceberry 'Laevis' 6'-7' multistem
- (7) 'Karl Foerster' Grass 2 qal
- (1) White Fringe Tree 5'-6'
- (2) 'Miss Kim' Lilac 3'-4'
- (3) Inkberry 'Shamrock' 7 qal
- (4) Little Lime Hydrangea 7 qal
- (8) Spirea 'Goldmound' 3 qal
- (6) 'Green Velvet' Boxwood 5 qal

C FOR CONSTRUCTION
B TENDER ISSUE
A CERTIFICATION ISSUE

Issue Revisions

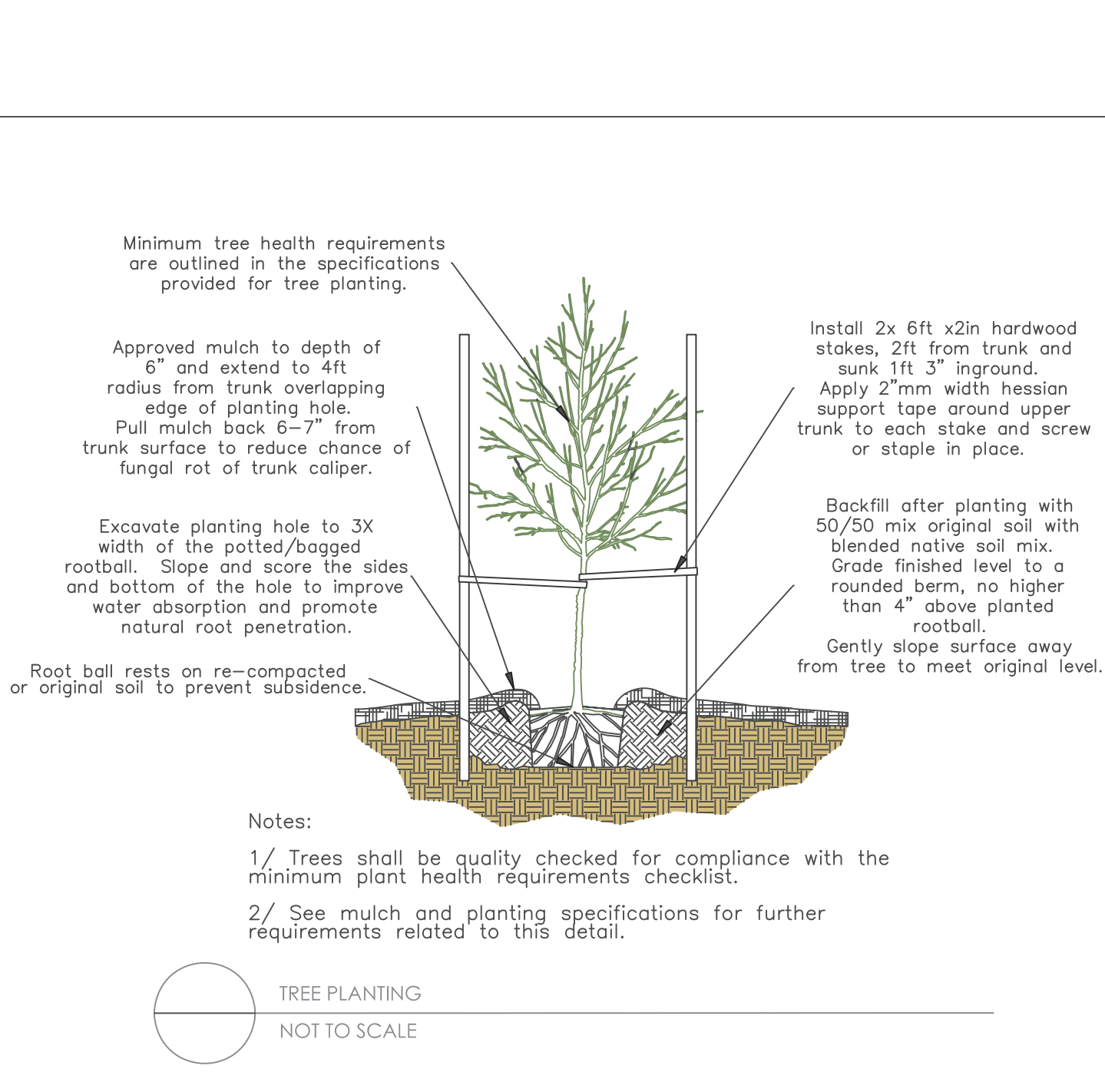
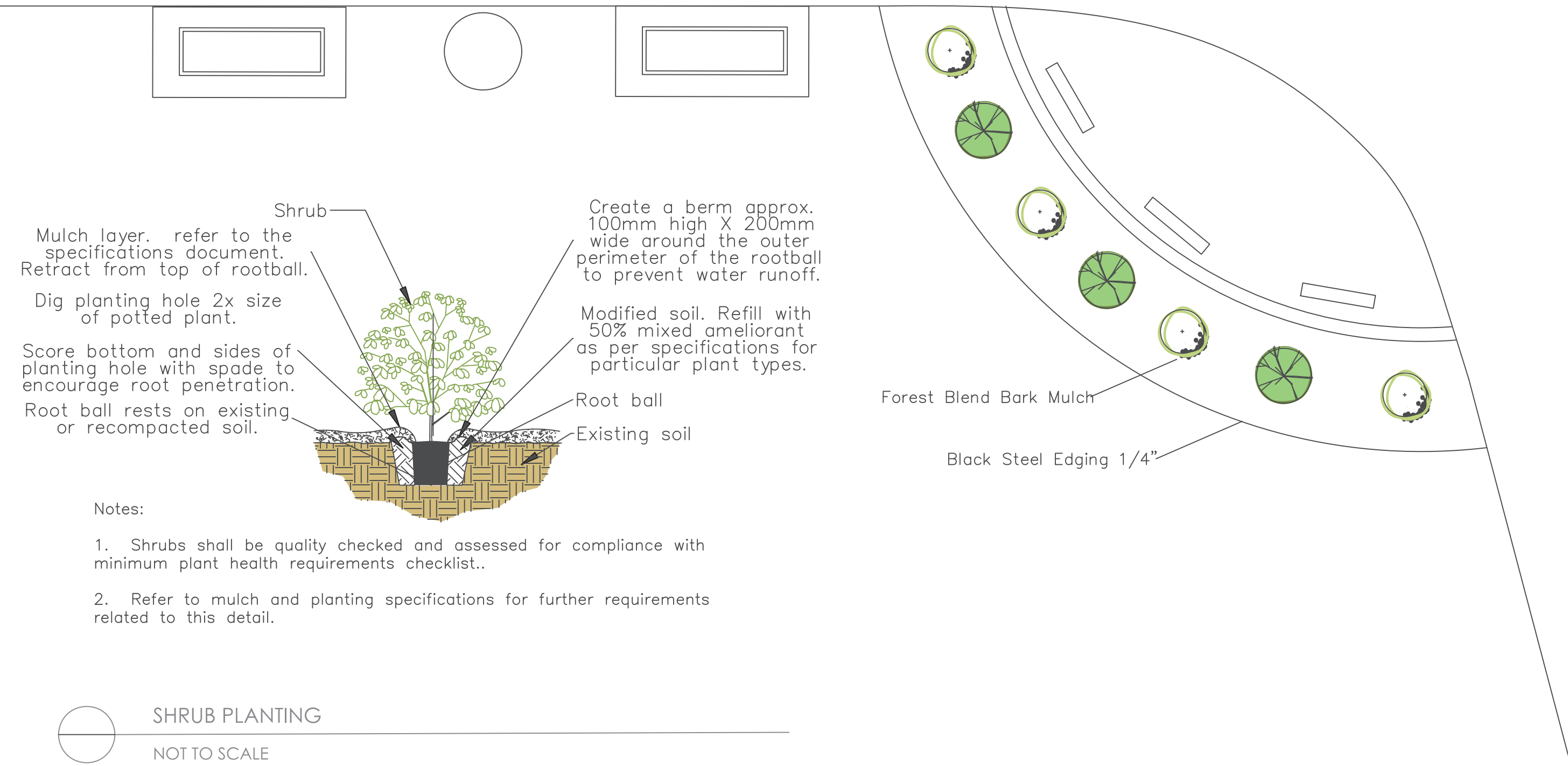


Client
Town of Agawam

Project
Veterans Memorial Plaza
At School Street Park

Title
Planting Plan

Drawn	Scale	Date
JM		6/24/2025
Drawing Number	Chkd	Issue
NUMBER	XX	X





Client

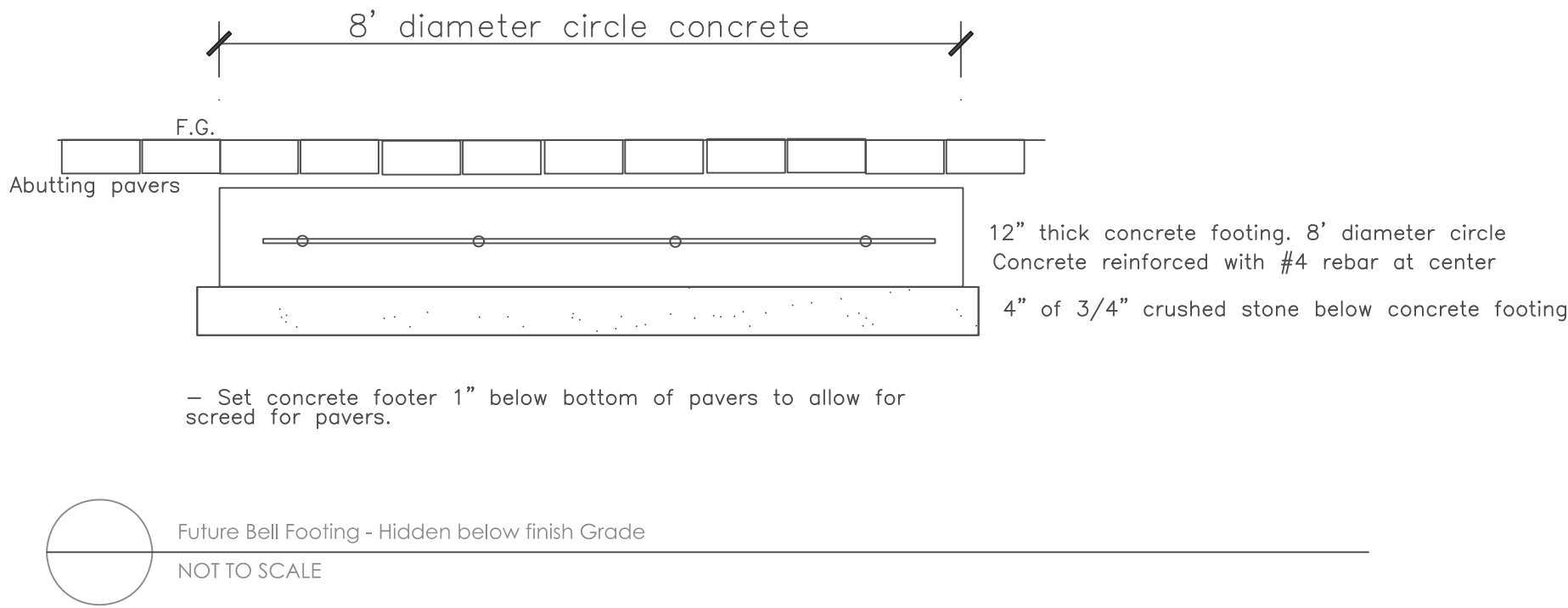
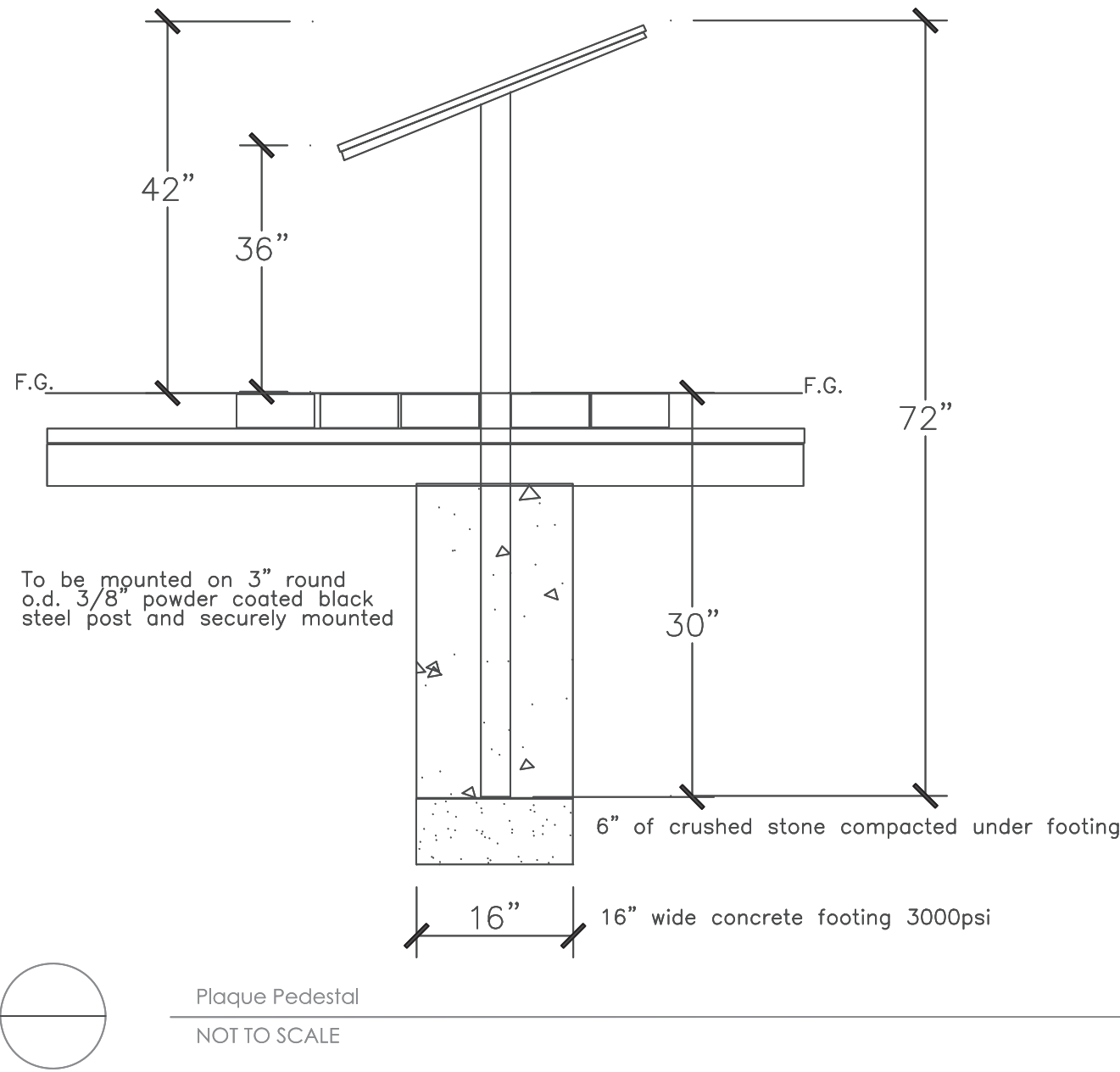
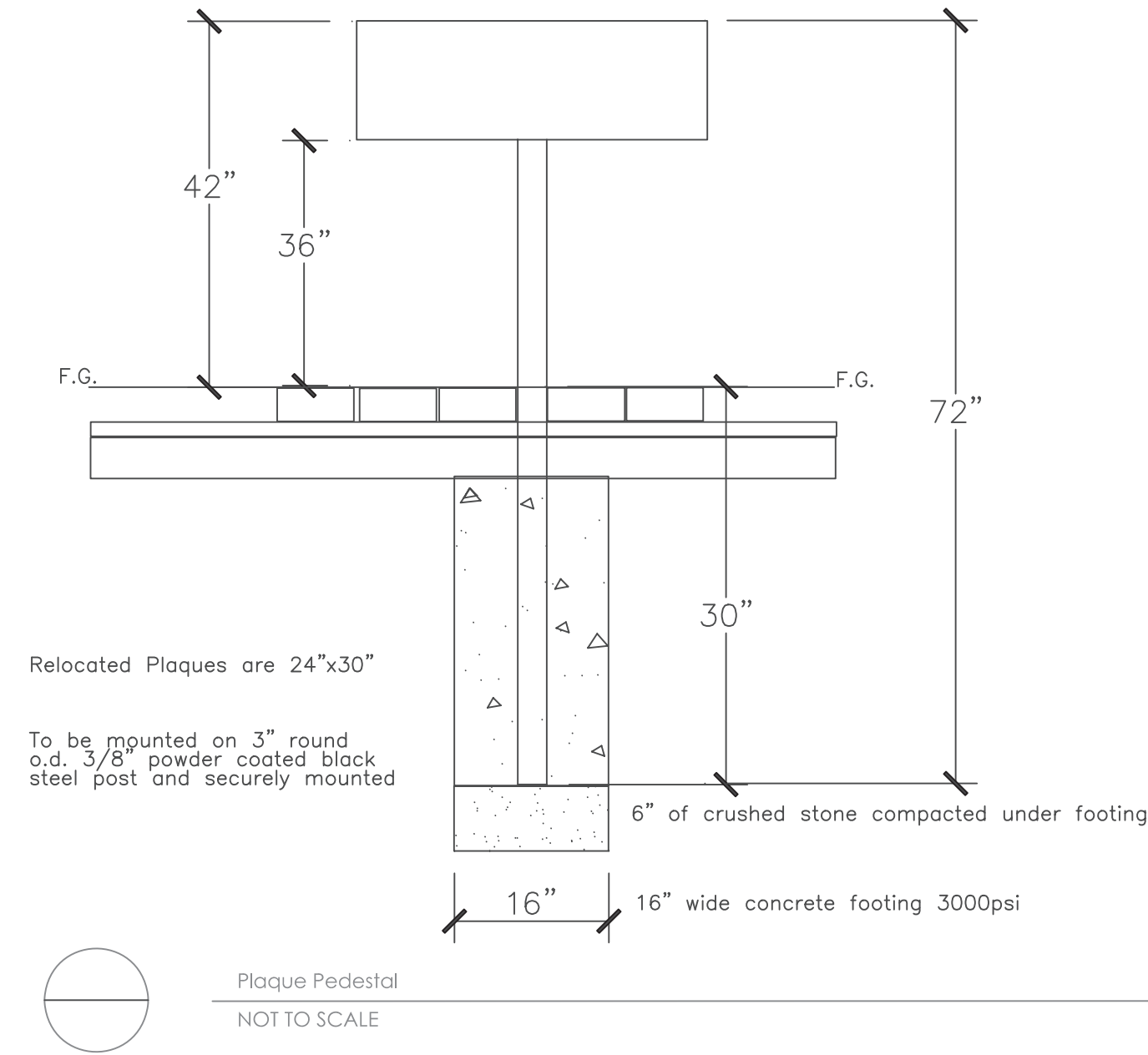
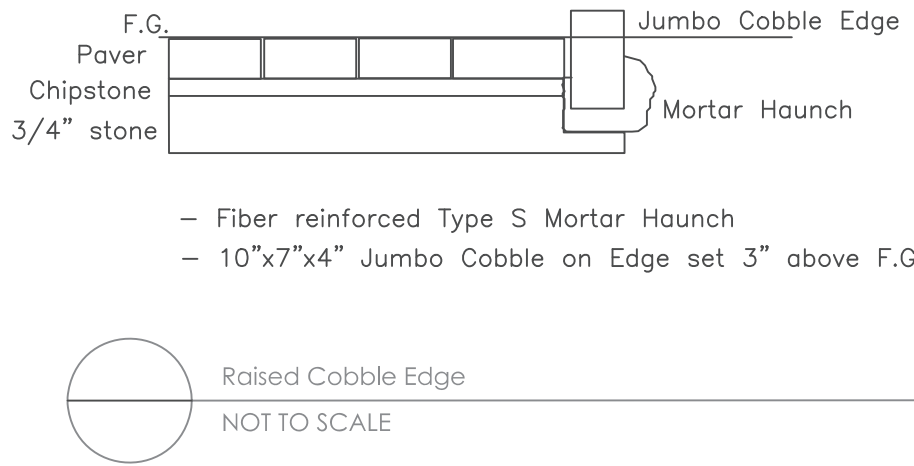
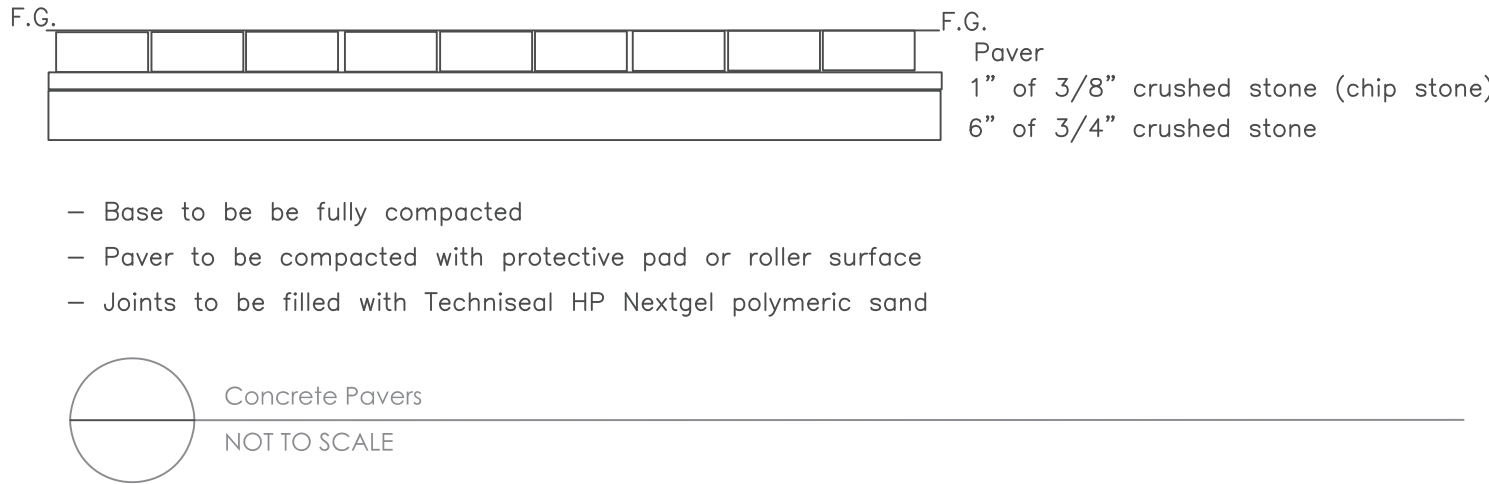
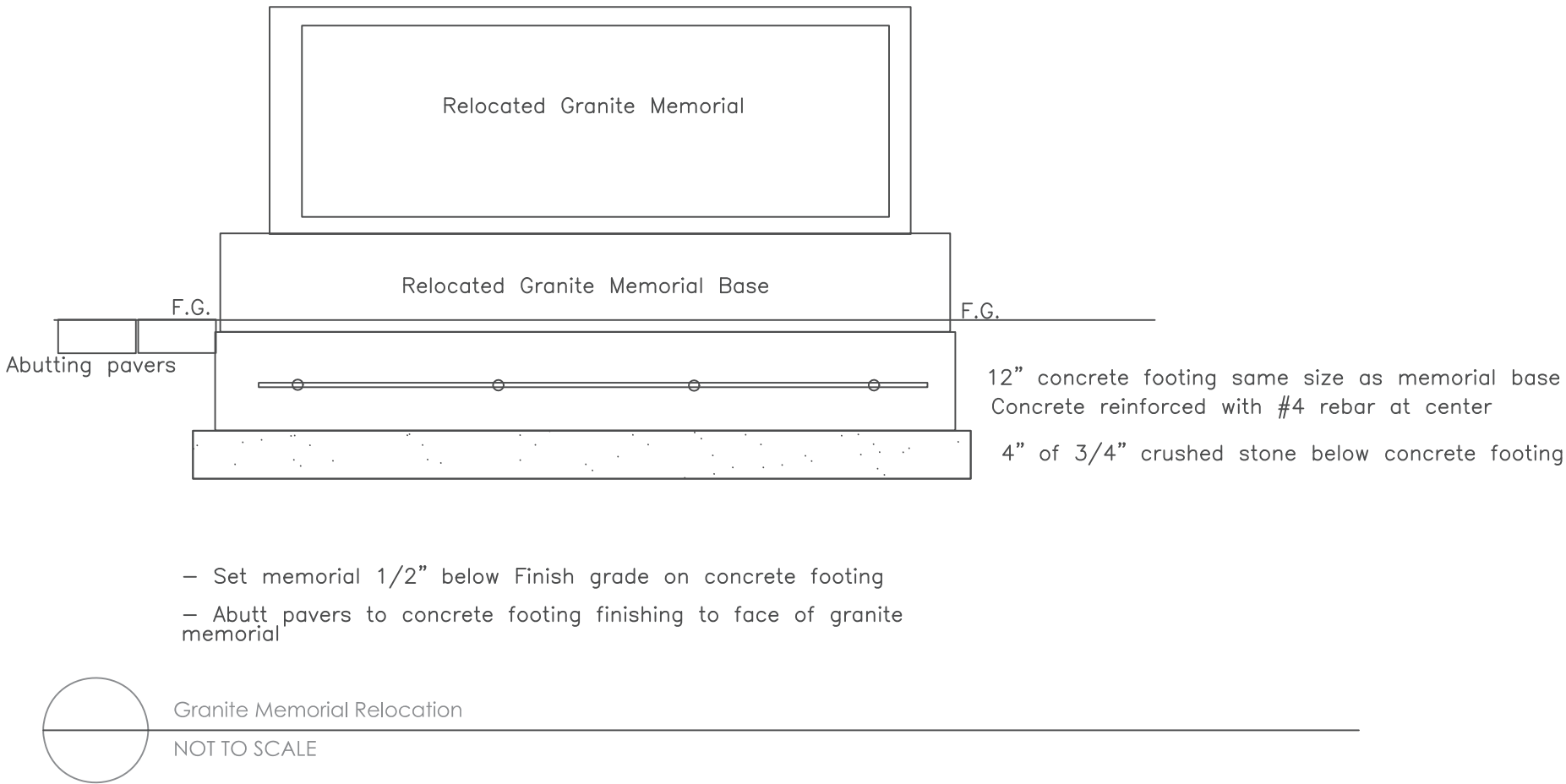
Town of Agawam

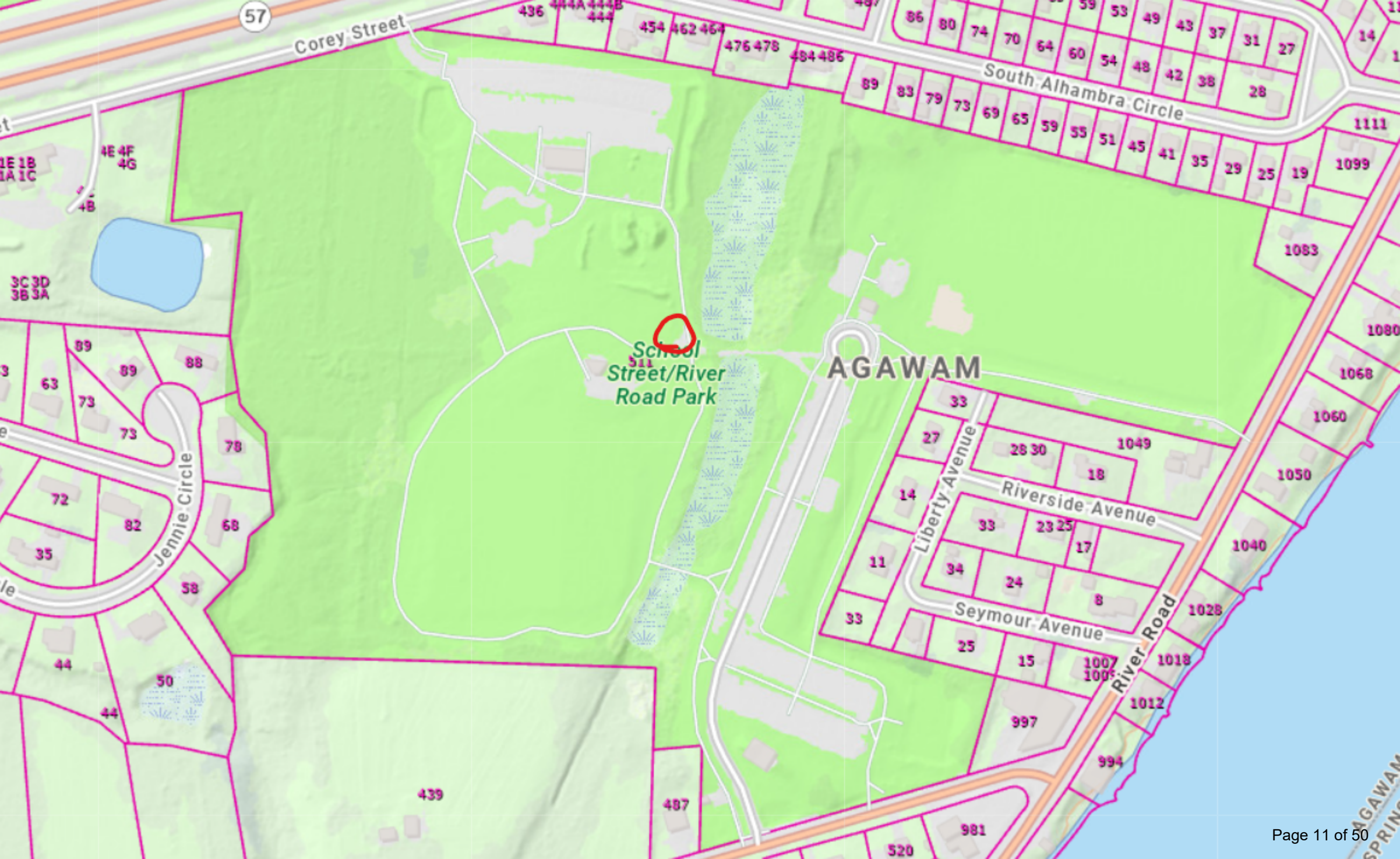
Project

Veterans Memorial Plaza
At School Street Park

Detail Sheet

Drawn	Scale	Date
		6/24/2025
Drawing Number	Chkd	Issue
NUMBER	XX	X









Town of Agawam

Department Of Public Works

DPW
1000 Suffield Street
Agawam, MA 01001
Phone: 413-821-0600
Fax: 413-821-0631

MEMORANDUM

To: Conservation Commission
CC: File
From: Engineering Division
Date: July 9, 2025
Subject: Notice of Intent – 1014 North Street Extension – CC 380

Per your request, we have reviewed the revised Conservation Filing Plan entitled, “Conservation Filing Plan, 1014 North Street Extension, Parcel I.D. #D13 2 10, Feeding Hills, Mass.; Prepared for: VIP Homes & Associates, LLC c/o Mr. Vladimir Ruha, 29 Avalon Place, Feeding Hills, MA 01030; Prepared by: R Levesque Associates, Inc., 40 School Street, Westfield, MA 01086; Scale: 1”=20’; Dated: June 20, 2025”. Based on our review, we have the following comments:

1. The Agawam Engineering Division concurs with all comments presented by Stockman Associates LLC in their memo dated May 27, 2025.
2. Engineering is concerned the capacity of the proposed culverts may not be sufficient to maintain the hydrology of the project site which is currently provided by the existing drainage ditches. Blocking the flow of these ditches may cause stormwater to collect within abutting properties on the eastern side of the project site and on the southern side of North Street Extension. The stream on the northern side of Roosevelt Avenue and its receiving waterbodies may also be negatively affected since these areas are hydrologically connected to the drainage ditches. A stormwater analysis of the project site needs to be submitted in order to verify the capacity of the culverts.
3. The Applicant shall submit a maintenance plan for the proposed culverts including the contact information for the responsible party.
4. The footprint of the proposed building has changed from the original plan dated September 12, 2022. The locations of the soil test pits performed in September of 2023 were based on the original footprint. The test pits shall be located by survey and shown on the Filing Plan to confirm whether the test pits fall within the new building footprint shown on the current plan. If the test pits are located outside of the new building footprint, additional test pits may be required to confirm soil conditions.
5. The drainage easement encompassing the existing 12” culvert pipe from North Street Extension should be labelled on the plan.
6. As noted by Stockman Associates LLC, details of the driveway and culvert installation should be included on the Filing Plan.
7. When this project was originally submitted in 2022, there was concern with flooding on the northern section of the property. At the time, the DPW had conducted an inspection of the culvert located on Roosevelt Avenue and downstream streambed. The DPW did not observe any kind of obstruction to the culvert at that time and the water was flowing as intended.



Town of Agawam

Department Of Public Works

DPW
1000 Suffield Street
Agawam, MA 01001
Phone: 413-821-0600
Fax: 413-821-0631

The Conservation Commission and Engineering have performed follow-up inspections of the culvert in May and June of 2025. Fallen tree limbs and other debris have been observed within the stream bed north of the culvert which may cause an impediment to flow, potentially causing flooding on the project site. The Agawam DPW will coordinate with the Applicant to have the debris removed to improve stream flow.

8. Engineering is willing to meet with the Applicant onsite if they wish to discuss the above listed comments and any other questions they may have. The Applicant should contact Engineering to schedule a date and time for the site visit.

Engineering reserves the right to make additional comments as new information is submitted. If you have any questions, please do not hesitate to contact this division.

Sincerely,

Michelle C. Chase, P.E.
Town Engineer

Michael F. Albro, P.E.
Assistant Town Engineer

MICHAEL MOCKO ENVIRONMENTAL CONSULTANT

mockoenvironmental@cox.net

**36 HAMPDEN ROAD
STAFFORD SPRINGS, CT 06076
TEL. 860-684-7205
CELL 860-933-0997**

ADDENDUM TO NARRATIVE

JUNE 20, 2025

**1014 North Street Ext.
Feeding Hills, MA
MA DEP File # WE 087-0684**

The following is a response to the comments made by Stockman Associates review of May 27, 2025.

1. BVW flagging has been reviewed in the field by Stockman Associates and field walked with the Agawam Conservation Commission on May 20, 2025. Agreement on the flagged and surveyed boundary was reached and shown on the revised plan. Revision Date: June 20, 2025

Historic drainage ditches were determined to be jurisdictional BVW with the widths measured in the field and the revised plan depicts all the ditches, including the 201 series. Calculated loss of jurisdictional wetland includes all ditches with the agreed widths.

iii. D-2 through D-5 has been recalculated at a 5-ft. width.

D-301 series has been recalculated at a 4-ft. width.

iv. Extensions of the “ditches”, as noted, at D-301 and D-5 are on the plan.

Historic “drainage ditch” D-201 series is now on the plan (June 20, 2025) and calculated as jurisdictional with an average width of 5.6-ft.

2. These BVW impacts have been reviewed and calculated by the surveyor to provide an updated BVW loss.
3. Temporary logging mats will be elevated on log runners to minimize BVW impact. Temporary impact is shown on the plan and replication will be in the same place. Mats and runners will be removed, ground surface smoothed, and disturbed soil will be straw mulched.

4. Culvert armament has been minimized on the plan and the area calculated as impacted BVW.
5. Deed restriction existing on Alexander Ave. which once was a “paper street” prohibits further development, construction, or access. This permanently eliminates further development that would result in greater BVW loss in excess of 5,000 sq. ft.
6. Per 310 CMR 10.55 (4)(b) “the issuing authority may issue an Order of Conditions permitting work which results in the loss of 5,000 sq. ft. of BVW when said area is replaced”. This project results in 4,776 sq. ft. of BVW loss which is less than 5,000 sq. ft.

7. a. Analysis of 10.55 (4)

1. Based on recalculation of the BVW lost including driveway, pipe and riprap, and BVW – historical ditches the total sq. ft. is 4,776. The surface area of the BVW replication area has been reduced to 5,179 sq. ft. to minimize the buffer zone impact.
2. Conditions in the BVW lost to the driveway construction is typically flat topography with hydric soil conditions – typical 0 – 12” 10YR3/2 FSL, 12”-14” 2.5 Y 3/3 FSL, 14” – 24” 2.5Y 4/2 Silty fine – med sand with redox features @ 12-24”. Estimated water table is 0 – 12” and ponding of water has been observed during extended wet periods. Ponding of surface water does drain off slowly to the southwest and the lower part of the landscape. The gradient of the surface of the BVW is only 0.5 – 1.0% making the sight slow to drain during wet periods.

The existing conditions of the replication area (not BVW) is nearly flat topography and elevated 1.0 – 2.0- ft. above the adjacent BVW. Soils are typically 0-6” 10YR 3/2 FSL 6”-14” 2.5Y 4/3 FSL, 14”-24” 2.5Y 4/3 fine-med silty sand, redox features @ 20”, estimated water table at 20”, and observed water @ 18” during wet periods.

8. Culverts are proposed to provide and maintain existing drainage patterns. There is minimal contributing drainage area and culverts are oversized just for ease of maintenance. The occasional removal of leaves and fallen branches will benefit the pipe function.
9. Siting of the primary 12” culvert is now shown in the “historic ditch”, as this is the low point. The second 6” culvert is in a secondary low and is for redundancy. These will ensure that existing drainage patterns are maintained.
10. Existing drainage patterns will be maintained by driveway culverts. Preservation of the existing drainage patterns will remain the same through the undisturbed BVW. Surface drainage by the proposed grading will maintain the drainage currently following the “historic ditches” that will be filled.

The replication BVW will add stormwater detention that is lost to the proposed driveway fill and “historic drainage ditch” fill.

11. Once logging mats are removed, the soil disturbance will be smoothed with an excavator bucket, restoring the original grade, and mulched with straw. The remaining root stock and

seed stock will adequately revegetate the minimal disturbance. The one year and two year inspection will observe conditions and supplemental seeding with the appropriate wet mix can be provided, if necessary.

12. Plant list is revised on the plan. (June 20,2025)

13. A revised plan will be submitted to the Engineering Department and a site walk will be scheduled.

14. Engineering may want additional test pits for foundation suitability, as the home location has been revised.

15. Buffer zone review by the Agawam Conservation Commission was discussed on the May 20, 2025 site walk. The limit of clearing was staked for review, as was the silt fence location. Erosion controls are detailed on page 2 of the plan. During tree clearing, any dangerous or unhealthy trees beyond clearing limits should be marked and permission for removal should be obtained by the Agawam Conservation Commission.

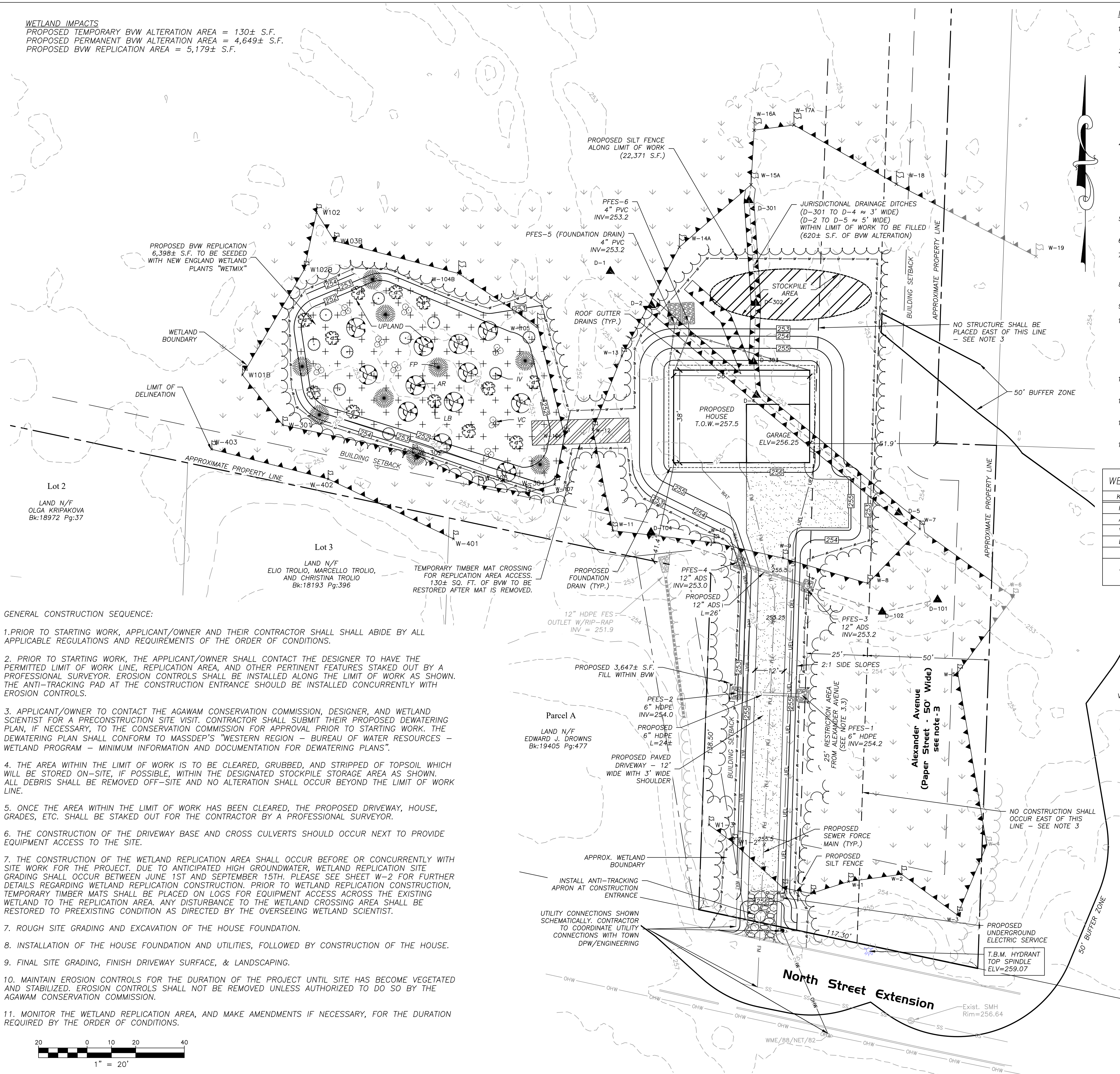
16. The current revised plan dated June 20, 2025 and narrative addendum dated June 20, 2025 are enclosed.

17. The impervious area is in very small proportion to the large extent of the wetland left undisturbed. No measurable impact is expected in the BVW.

18. The size of the wetland replication area has been revised to reflect a 1:1 ratio, in order to minimize the disturbance of the buffer zone.

Points 19 through 26 addressing the site plan have been added to the revised plan dated June 20, 2025.

1. PRIOR TO STARTING WORK, APPLICANT/OWNER AND THEIR CONTRACTOR SHALL ABIDE BY ALL APPLICABLE REGULATIONS AND REQUIREMENTS OF THE ORDER OF CONDITIONS.
2. PRIOR TO STARTING WORK, THE APPLICANT/OWNER SHALL CONTACT THE DESIGNER TO HAVE THE PERMITTED LIMIT OF WORK LINE, REPLICATION AREA, AND OTHER PERTINENT FEATURES STAKED OUT BY A PROFESSIONAL SURVEYOR. EROSION CONTROLS SHALL BE INSTALLED ALONG THE LIMIT OF WORK AS SHOWN. THE ANTI-TRACKING PAD AT THE CONSTRUCTION ENTRANCE SHOULD BE INSTALLED CONCURRENTLY WITH EROSION CONTROLS.
3. APPLICANT/OWNER TO CONTACT THE AGAWAM CONSERVATION COMMISSION, DESIGNER, AND WETLAND SCIENTIST FOR A PRECONSTRUCTION SITE VISIT. CONTRACTOR SHALL SUBMIT THEIR PROPOSED DEWATERING PLAN, IF NECESSARY, TO THE CONSERVATION COMMISSION FOR APPROVAL PRIOR TO STARTING WORK. THE DEWATERING PLAN SHALL CONFORM TO MASSDEP'S "WESTERN REGION - BUREAU OF WATER RESOURCES - WETLAND PROGRAM - MINIMUM INFORMATION AND DOCUMENTATION FOR DEWATERING PLANS".
4. THE AREA WITHIN THE LIMIT OF WORK IS TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL WHICH WILL BE STORED ON-SITE, IF POSSIBLE, WITHIN THE DESIGNATED STOCKPILE STORAGE AREA AS SHOWN. ALL DEBRIS SHALL BE REMOVED OFF-SITE AND NO ALTERATION SHALL OCCUR BEYOND THE LIMIT OF WORK LINE.
5. ONCE THE AREA WITHIN THE LIMIT OF WORK HAS BEEN CLEARED, THE PROPOSED DRIVEWAY, HOUSE, GRADES, ETC. SHALL BE STAKED OUT FOR THE CONTRACTOR BY A PROFESSIONAL SURVEYOR.
6. THE CONSTRUCTION OF THE DRIVEWAY BASE AND GROSS CULVERTS SHOULD OCCUR NEXT TO PROVIDE EQUIPMENT ACCESS TO THE SITE.
7. THE CONSTRUCTION OF THE WETLAND REPLICATION AREA SHALL OCCUR BEFORE OR CONCURRENTLY WITH SITE WORK FOR THE PROJECT. DUE TO ANTICIPATED HIGH GROUNDWATER, WETLAND REPLICATION SITE GRADING SHALL OCCUR BETWEEN JUNE 1ST AND SEPTEMBER 15TH. PLEASE SEE SHEET W-2 FOR FURTHER DETAILS REGARDING WETLAND REPLICATION CONSTRUCTION. PRIOR TO WETLAND REPLICATION CONSTRUCTION, TEMPORARY TIMBER MATS SHALL BE PLACED ON LOGS FOR EQUIPMENT ACCESS ACROSS THE EXISTING WETLAND TO THE REPLICATION AREA. ANY DISTURBANCE TO THE WETLAND CROSSING AREA SHALL BE RESTORED TO PREEXISTING CONDITION AS DIRECTED BY THE OVERSEEING WETLAND SCIENTIST.
7. ROUGH SITE GRADING AND EXCAVATION OF THE HOUSE FOUNDATION.
8. INSTALLATION OF THE HOUSE FOUNDATION AND UTILITIES, FOLLOWED BY CONSTRUCTION OF THE HOUSE.
9. FINAL SITE GRADING, FINISH DRIVEWAY SURFACE, & LANDSCAPING.
10. MAINTAIN EROSION CONTROLS FOR THE DURATION OF THE PROJECT UNTIL SITE HAS BECOME VEGETATED AND STABILIZED. EROSION CONTROLS SHALL NOT BE REMOVED UNLESS AUTHORIZED TO DO SO BY THE AGAWAM CONSERVATION COMMISSION.
11. MONITOR THE WETLAND REPLICATION AREA, AND MAKE AMENDMENTS IF NECESSARY, FOR THE DURATION REQUIRED BY THE ORDER OF CONDITIONS.



- | KEY | SYMBOL | QTY. | BOTANICAL NAME | COMMON NAME | SIZE/SPACING |
|-----|---|--------------------------------------|------------------------|--------------------|---------------------------|
| FP |  | 9 | FRAXINUS PENNSYLVANICA | GREEN ASH | 5-6' HEIGHT |
| AR |  | 12 | ACER RUBRUM | RED MAPLE | 5-6' HEIGHT |
| VC |  | 24 | VACCINIUM CORYMBOSUM | HIGHBUSH BLUEBERRY | 2-3' HEIGHT |
| LB |  | 12 | LINDERA BENZOIN | SPICEBUSH | 2-3' HEIGHT |
| IV |  | 10 | ILEX VERTICILLATA | WINTERBERRY | 2-3' HEIGHT |
| - | +
+
+
+ | NEW ENGLAND WETLAND PLANTS "WET-MIX" | | | RATE PER
SUPPLIER REC. |

ZONING REVIEW - Agricultural		
TYPE (MINIMUM)	REQUIRED	PROPOSED
AREA	20,000 Ft ²	2.25 ± ACRES
FRONTAGE	120 FT	177 ± FT
FRONT YARD	35 FT	180+ FT
SIDE YARD	15 FT	41.4 ± FT
REAR YARD	20 FT	150+ FT
HEIGHT (MAX)	35 FT	35 FT
BUILDING COVERAGE (MAX)	NONE	1.8%

ZONING REVIEW - Residence A2		
TYPE (MINIMUM)	REQUIRED	PROPOSED
AREA	15,000 FT ²	2.25 ACRES
FRONTAGE	110 FT	177 ± FT
FRONT YARD	30 FT	180+ FT
SIDE YARD	15 FT	41.4 ± FT
REAR YARD	20 FT	150+ FT
HEIGHT (MAX)	35 FT	35 FT
BUILDING COVERAGE (MAX)	40%	1.8%

NOTE: R LEVESQUE ASSOCIATES HAS NOT CONDUCTED SOIL EVALUATIONS OR GROUNDWATER ELEVATION OBSERVATIONS FOR THIS PROPERTY. TO ENSURE PROPER DRAINAGE, IT IS ADVISED THAT THE PROPOSED HOUSE NOT HAVE A FLOOR ELEVATION LOWER THAN THE TOP OF WALL (TOW) SHOWN ON THE PLAN. PRIOR TO CONSTRUCTION, DEVELOPER/CONTRACTOR SHALL VERIFY ARCHITECTURAL PLANS WITH THIS SITE PLAN. IF ANY ADJUSTMENTS ARE REQUIRED, PLEASE NOTIFY R LEVESQUE ASSOCIATES AND THE AGAWAM CONSERVATION COMMISSION PRIOR TO COMMENCING WORK.

PERMITTING

WETLAND REPLICATION NOTES:
SCHEDULE:

1. WETLAND REPLICATION WORK SHALL TAKE PLACE DURING THE GROWING SEASON, IDEALLY BETWEEN JUNE AND SEPTEMBER 15TH FOR SITE GRADING DUE TO ANTICIPATED HIGH GROUNDWATER. WETLAND REPLICATION WORK SHALL BE DONE CONCURRENT WITH SITE WORK.
2. THE AGAWAM CONSERVATION COMMISSION (ACC) SHALL BE CONTACTED 48 HOURS IN ADVANCE OF THE START OF WORK AND A PRECONSTRUCTION SITE MEETING SHALL BE HELD WITH THE ACC, THE REGISTERED LANDSCAPE ARCHITECT (RLA) OR WETLAND SCIENTIST, AND THE APPLICANT.
3. THE WETLAND SCIENTIST, OR HIS REPRESENTATIVE, SHALL BE ON SITE AT THE START OF WORK AND CHECK ON THE PROGRESS OF THE PROJECT REGULARLY DURING WORK IN WETLANDS AND AT OTHER CRITICAL POINTS DURING CONSTRUCTION. AT A MINIMUM, THE WETLAND SCIENTIST SHALL BE PRESENT AT THE START OF WORK TO VERIFY SUBGRADES; AT THE BEGINNING OF PLANTING; AND TO VERIFY THAT WORK IS COMPLETE.
4. AN INSPECTION REPORT SHALL BE SUBMITTED TO THE WCC BY THE WETLAND SCIENTIST DURING THE WETLAND CONSTRUCTION PERIOD.

CONSTRUCTION SEQUENCE:

1. THE LIMITS OF THE WETLAND REPLICATION AREA SHALL BE STAKED OUT BY MEANS OR SURVEY BEFORE CONSTRUCTION COMMENCES AND PROPOSED GRADE STAKES SHALL BE MARKED FOR CUT TO PROPER DEPTH BELOW PROPOSED FINISH GRADE FOR REPLICATION AREA.
2. INSTALL EROSION CONTROL AND SILTATION BARRIERS AT LOCATIONS SHOWN ON PLAN, PRIOR TO CONSTRUCTION. NO EQUIPMENT TRAFFIC OR OTHER ALTERATION IS PERMITTED BEYOND SEDIMENT BARRIERS OR IN WETLAND AREAS, EXCEPT FOR GRADING AS SHOWN ON THE PLAN. BARRIERS WITHIN THE WETLAND SHALL BE INSTALLED SO AS TO MINIMIZE DISTURBANCE OF THE WETLAND. SILT FENCING SHALL BE TRENCHED IN BY HAND IN WETLAND AREAS. STRAW BALES MAY BE SET DIRECTLY ON THE WETLAND SURFACE WITHOUT TRENCHING, BUT MUST BE WELL STAKED, TIGHTLY BUTTED, AND JOINTS CHINKED WITH LOOSE HAY.
3. CLEAR AND GRUB THE REPLICATION AREA AND REMOVE TOPSOIL FOR STOCKPILING ON ADJACENT LAND AS PER THESE PLANS. EXCAVATE SUBSOIL TO THE DEPTH BELOW THE FINAL GRADE SHOWN ON PLANS TO ALLOW FOR INLAY OF ORGANIC SOIL. DO NOT STOCKPILE TOPSOIL, SUBSOIL, STUMPS OR DEBRIS WITHIN RESOURCE AREAS.
4. EXCAVATION WORK SHALL BE DONE FROM OUTSIDE THE EXISTING WETLAND AND SHALL PROGRESS FROM THE WETLAND EDGE INTO THE UPLAND.
5. THE GROUNDWATER ELEVATION SHALL BE VERIFIED IN THE WETLAND REPLICATION AREA BY THE WETLAND SCIENTIST ONCE THE REPLICATION AREA HAS BEEN EXCAVATED TO SUB-GRADE. IF SEASONAL HIGH GROUNDWATER IS NOT PRESENT AT OR WITHIN SUFFICIENT DEPTH TO SUPPORT WETLAND VEGETATION, MODIFICATIONS TO THE PROPOSED REPLICATION AREA TOPOGRAPHY SHALL BE MADE IN THE FIELD UNDER THE SUPERVISION OF THE WETLAND SCIENTIST.
6. REPLACE 12 INCHES OF ORGANIC SOIL INLAY TO THE REPLICATION AREA TO ACHIEVE FINAL GRADE. ORGANIC SOIL SHALL BE AN ORGANIC FINE SANDY LOAM APPROVED BY THE WETLAND SCIENTIST. IT IS ANTICIPATED THAT THE TOPSOIL EXCAVATED FROM THE REPLICATION SITE WILL BE AMENDED FOR THE WETLAND SOIL INLAY.
7. AVOID COMPACTION OF SUBSOILS AND PLACED WETLAND SOILS. EQUIPMENT TRAFFIC IN THE REPLICATION AREA IS TO BE MINIMIZED BY USING TRACK INSTEAD OF WHEEL MACHINES. THERE SHALL BE NO TRAFFIC ON WETLAND SOILS ALREADY PLACED.
8. INSTALL WETLAND PLANTINGS AS SHOWN, WHICH MAY BE AMENDED BY THE OVERSEEING WETLAND SCIENTIST BASED ON FIELD CONDITIONS AND PLANT AVAILABILITY. PLANTINGS SHALL BE INSTALLED DURING THE GROWING SEASON, IDEALLY IN SPRING OR FALL.

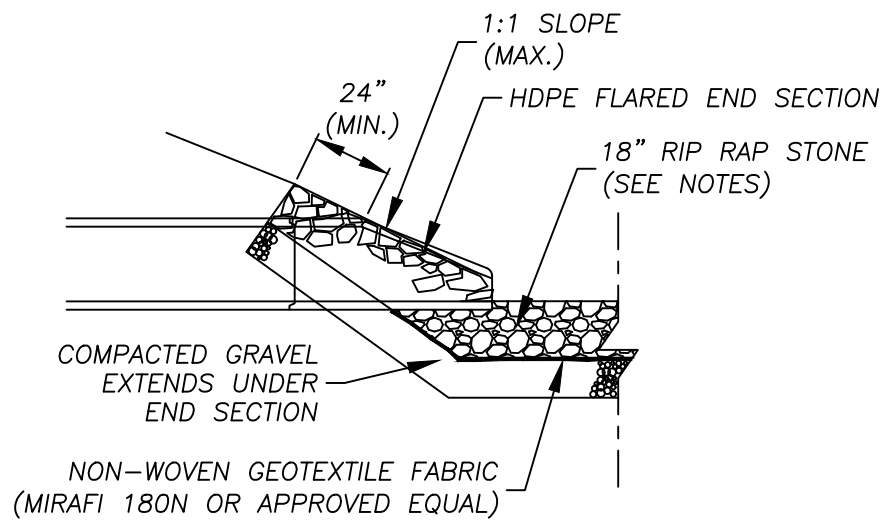
9. WETLAND PLANT SEED MIX, AS SPECIFIED ON THE PLANS, SHALL BE OBTAINED FROM A NURSERY IN THE NEW ENGLAND STATES. SEE NOTICE OF INTENT FILING FOR PLANTING REPLICATION AREA PLANTING SCHEDULE.
10. ALL EXPOSED SOIL WITHIN THE RESOURCE AREA(S) SHALL BE SEEDED WITH A WETLAND MIXTURE (SEE SPECIFICATION) AND MULCHED WITH WET MEADOW HAY, SALT HAY OR STRAW TO PREVENT EROSION UNTIL VEGETATION IS ESTABLISHED AND A CERTIFICATE OF COMPLIANCE IS RECEIVED FROM THE LOCAL CONSERVATION COMMISSION.
11. FINAL WETLAND REPLICATION AREA ELEVATIONS SHALL BE CERTIFIED BY THE DESIGNER & WETLAND SCIENTIST.
12. IMPACT TO ADJACENT WETLAND AREAS SHALL BE AT A MINIMUM. STORAGE OF ANY CONSTRUCTION MATERIALS OR MACHINERY IN ADJACENT WETLAND AREAS IS PROHIBITED. USE OF HEAVY MACHINERY IN ADJACENT WETLAND AREAS IS PERMITTED FOR CONSTRUCTION OF THE REPLICATION AREA ONLY WITHIN THE LIMITS OF THE EROSION CONTROL BARRIERS. ANY ADJACENT WETLAND DISTURBED DURING CONSTRUCTION WILL BE REESTABLISHED TO ITS PRE-CONSTRUCTION CONDITION AT THE CONTRACTOR'S EXPENSE.
13. ALL SLOPES AND FILL AREAS IN BUFFER ZONE SHALL BE SEEDED AND MULCHED UPON COMPLETION OF CONSTRUCTION TO PREVENT ANY POSSIBLE IMPACT TO ADJACENT WETLAND.
14. UPON COMPLETION OF THE CONSTRUCTION PHASE OF THE WETLAND REPLICATION, THE CONTRACTOR SHALL CONTACT THE DESIGNER AND WETLAND SCIENTIST FOR AN INSPECTION. THE WETLAND SCIENTIST SHALL NOTIFY THE LOCAL CONSERVATION COMMISSION AS TO THE COMPLETION DATE.

ESTABLISHMENT & MONITORING:

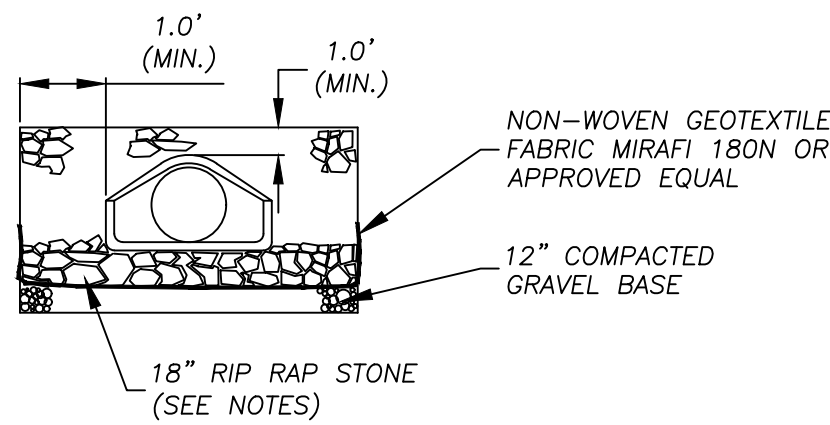
1. AT THE END OF EACH GROWING SEASON, AND UNTIL COMPLIANCE WITH THE PERFORMANCE STANDARDS SET FORTH IN 310 CMR 10.55(4)(B)1-7 IS ACHIEVED, A PROGRESS REPORT SHALL BE SUBMITTED BY A REGISTERED LANDSCAPE ARCHITECT OR WETLAND SCIENTIST, TO THE LOCAL ISSUING AUTHORITY.
2. ALL WORK SHALL COMPLY WITH 310 CMR 10.55 (4)(B)1-7: WITHIN TWO GROWING SEASONS AFTER COMPLETION, AT LEAST 75% OF THE REPLICATION AREA SHALL BE ESTABLISHED WITH INDIGENOUS WETLAND PLANT SPECIES. IF AT THE END OF THE FIRST OR THE SECOND GROWING SEASON (OR BOTH), THE SUCCESS RATE IS NOT EXPECTED TO BE 75%, PLANTING AND/OR RE-SEEDING OF THE REPLICATION AREA SHALL BE UNDERTAKEN. VEGETATION MAY BE CUT OR REMOVED SELECTIVELY TO ELIMINATE NUISANCE OR INVASIVE PLANTS AND ENCOURAGE WETLAND SPECIES.

MAINTENANCE:

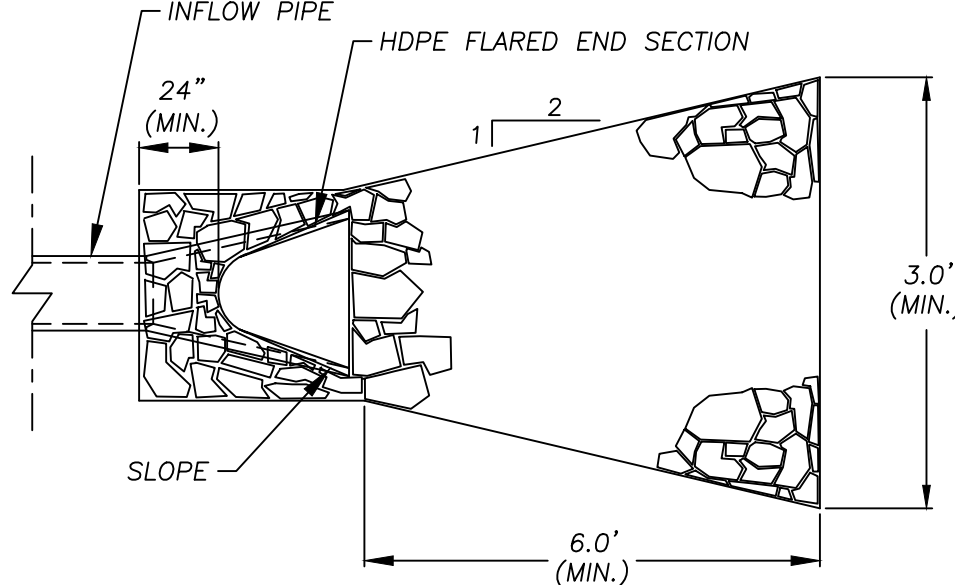
1. AFTER SUCCESSFUL ESTABLISHMENT OF WETLAND VEGETATION AND RECEIPT OF A CERTIFICATE OF COMPLIANCE, THE AREA SHALL BE PERMITTED TO GROW WITHOUT DISTURBANCE. NO CONTINUING MAINTENANCE IS REQUIRED, EXCEPT FOR THE POSSIBLE SELECTIVE PRUNING OR REMOVAL OF NUISANCE AND/OR INVASIVE SPECIES THAT MAY HAVE INVADDED THE REPLICATION AREA.



SIDE SECTION



FRONT SECTION



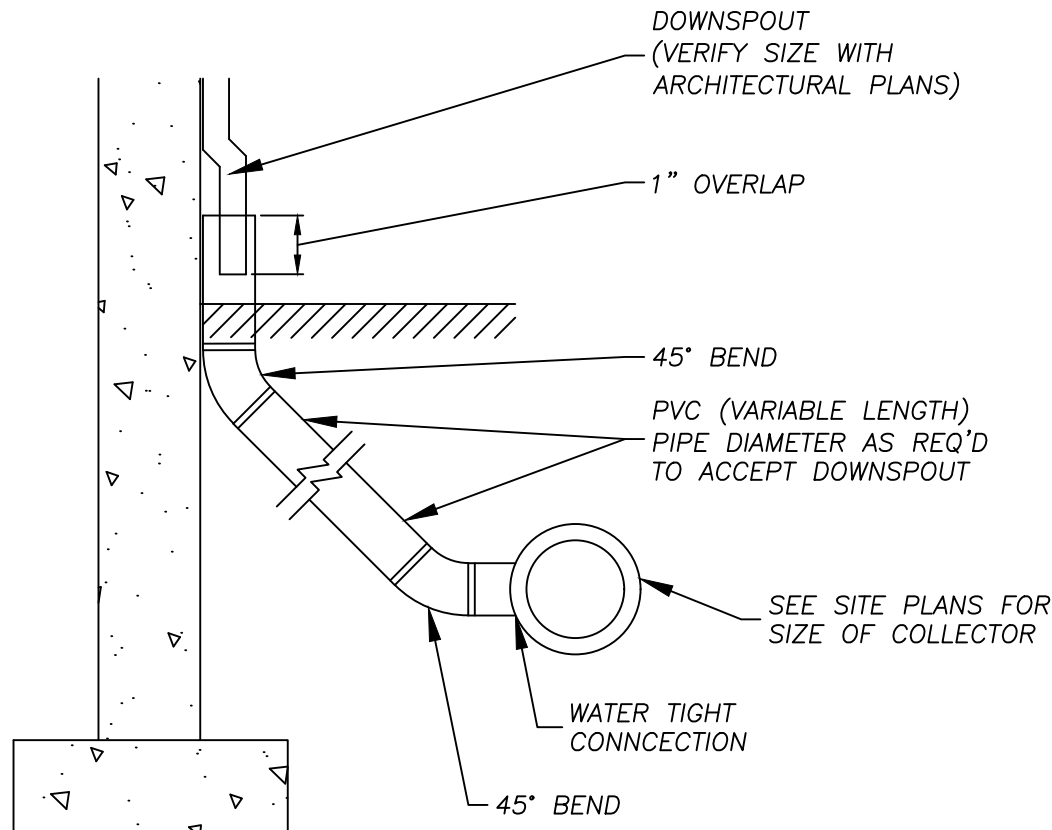
PLAN VIEW

STANDARD RIP RAP PIPE OUTLET

NO SCALE

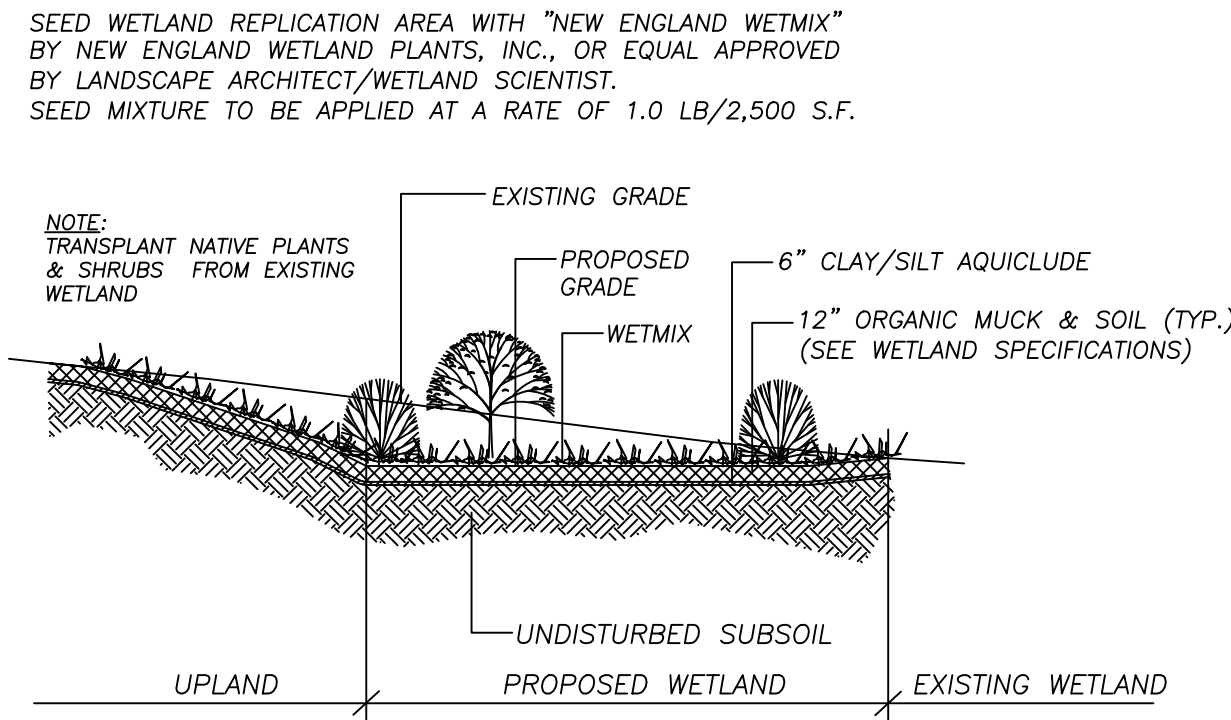
NOTES

1. FLARED END SECTION PIPE JOINT SHALL BE SIMILAR TO THE MAIN RUN OF PIPE JOINTS
2. STONE RIPRAP SHALL NOT BE LESS THAN 50 POUNDS NOR MORE THAN 125 POUNDS AND AT LEAST 75% OF THE VOLUME SHALL BE AT LEAST 75 POUNDS



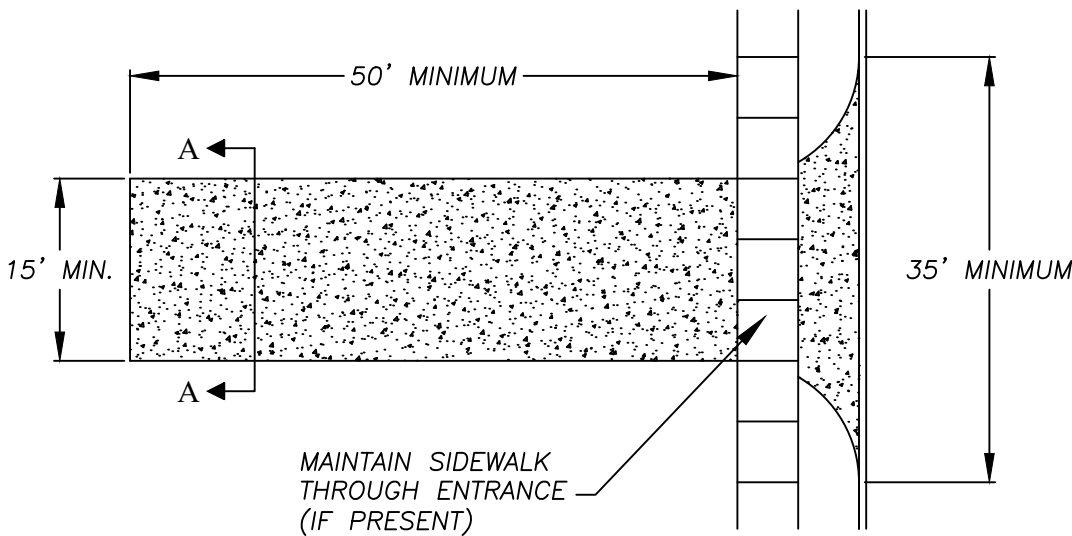
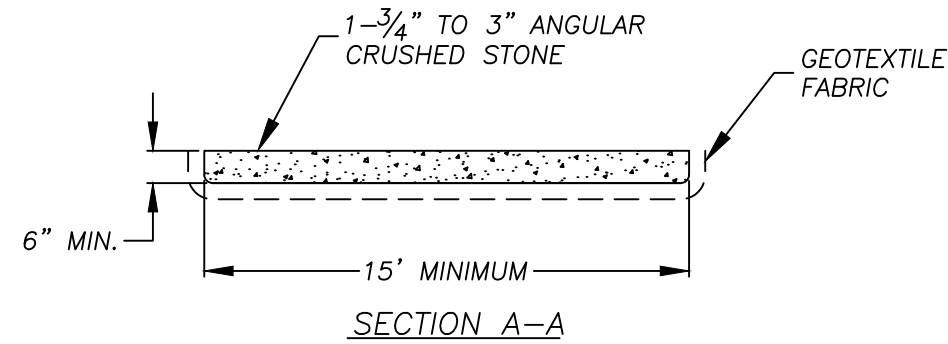
DOWNSPOUT COLLECTOR DETAIL

NO SCALE



TYPICAL WETLAND REPLICATION AREA - CROSS SECTION

NO SCALE

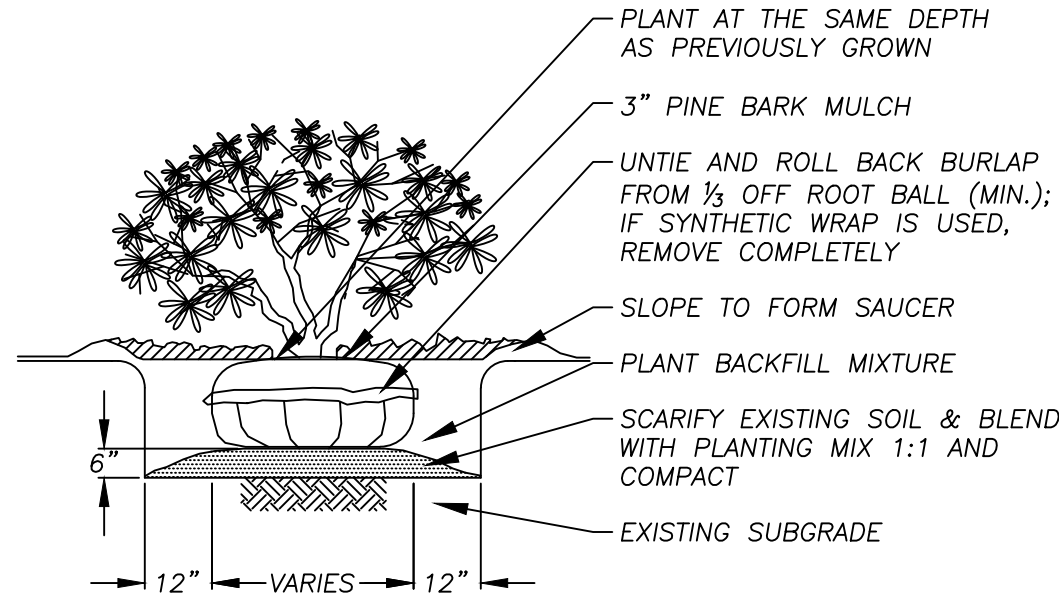


NOTES

1. EACH SITE ENTRANCE IS TO HAVE A TEMPORARY CONSTRUCTION ENTRANCE.
2. STONE IS TO BE 1-3/4" TO 3" ANGULAR CRUSHED STONE.
3. PLACE GEOTEXTILE OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
4. ANY SEDIMENT TRACKED INTO THE ROADWAY NEEDS TO BE CLEANED IMMEDIATELY.
5. ADDITIONAL STONE IS TO BE ADDED TO THE PAD AS NEEDED TO MAINTAIN THE ORIGINAL DEPTH.
6. ANY SIDEWALK DAMAGED DURING CONSTRUCTION MUST BE REPLACED AT THE CONTRACTORS/DEVELOPERS EXPENSE.
7. SIDEWALK MUST REMAIN PASSABLE, IF THE SIDEWALK BECOMES UNSAFE OR IMPASSABLE, A TEMPORARY SIDEWALK/ SIDEWALK DETOUR MUST BE PROVIDED.

ANTI-TRACKING APRON (AS REQ'D)

NO SCALE

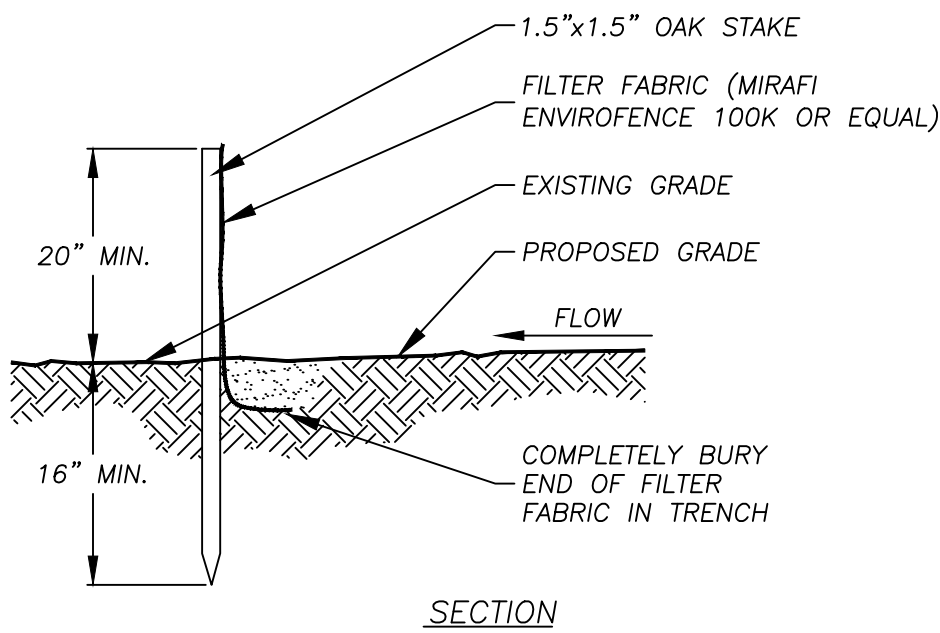


SHRUB PLANTING DETAIL

NO SCALE

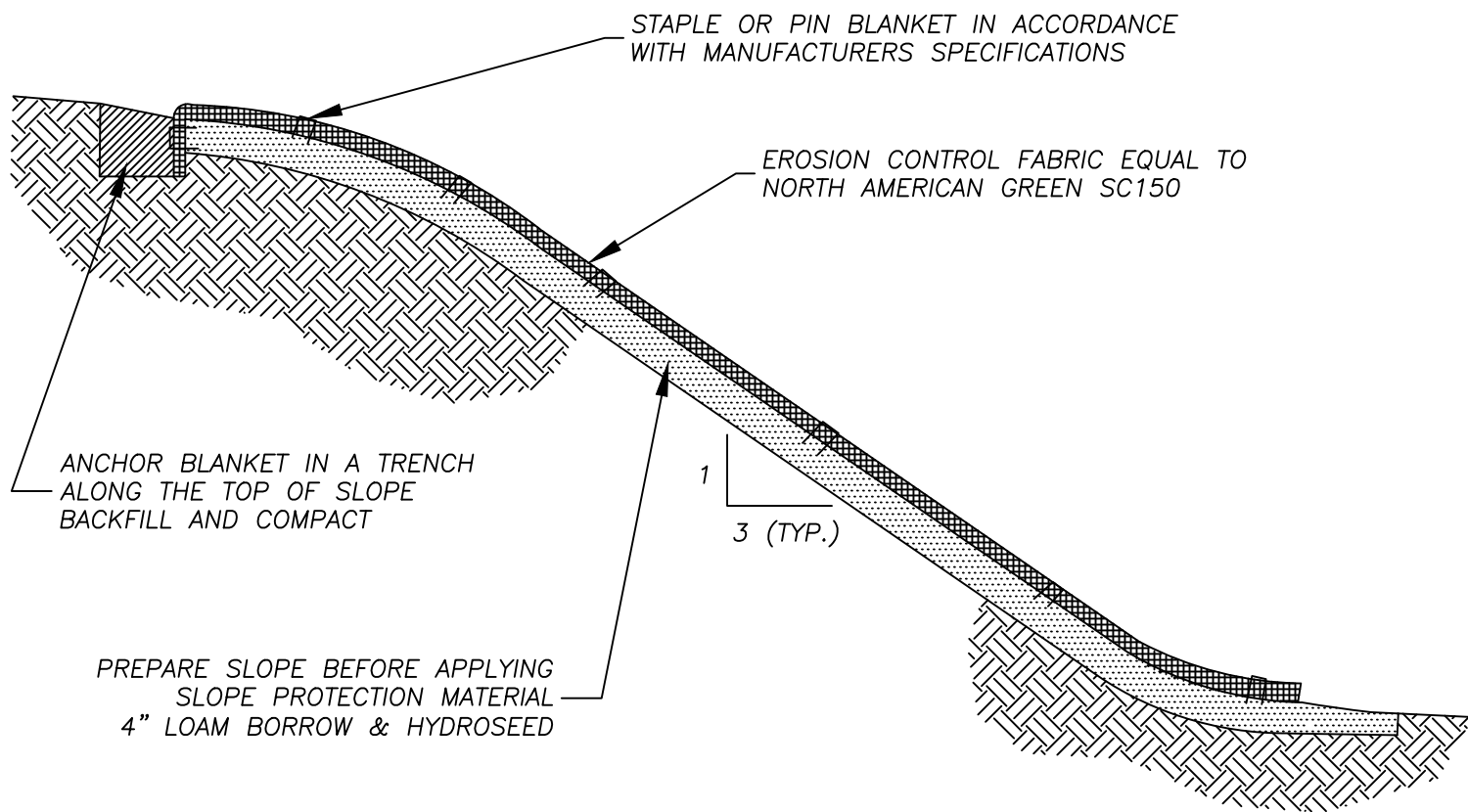
SILT FENCE INSTALLATION NOTES

1. THIS SEDIMENT BARRIER UTILIZES MIRAFI ENVIROFENCE (100X) OR EQUAL. IT IS DESIGNED FOR SITUATIONS IN WHICH ONLY SHEET OR OVERLAND FLOWS ARE EXPECTED.
2. THE HEIGHT OF THE BARRIER SHALL NOT EXCEED 36 INCHES (HIGHER BARRIERS MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF THE STRUCTURE). IDEALLY THE FILTER FENCE SHALL BE PLACED 10 FEET AWAY FROM THE TOE OF SLOPE.
3. WHEN JOINTS ARE NECESSARY, FILTER FABRICS SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT STAKES WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY SEALED. SEE MANUFACTURER'S RECOMMENDATION.
4. STAKES SHALL BE SPACED A MAXIMUM OF 10 FEET APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). IN APPLICATIONS WHERE HEAVY FLOWS ARE EXPECTED SUCH AS IN-STREAM INSTALLATIONS STAKE SPACING SHALL BE PER MANUFACTURER'S RECOMMENDATIONS AND/OR THE ENGINEERS RECOMMENDATIONS.
5. A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF STAKES AND UPSLOPE FROM THE BARRIER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
6. THE PRE ASSEMBLED SILT FENCE SYSTEM SHALL BE UNROLLED, POSITION THE STAKES ON THE DOWNHILL SIDE OF THE TRENCH AND HAMMER THE STAKES AT LEAST 12 INCHES INTO THE GROUND.
7. THE BOTTOM SIX (6) INCHES OF THE FABRIC SHALL BE LAID INTO THE TRENCH TO PREVENT UNDERMINING BY STORM WATER RUNOFF.
8. BACKFILL THE TRENCH OVER THE FILTER FABRIC AND COMPACT SUFFICIENTLY TO PREVENT THE RUNOFF FROM ERODING THE BACKFILL.
9. THE FABRIC SHALL NOT EXTEND MORE THAT 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES OR SUPPORTS OTHER THAN THE STANDARD STAKES.
10. INSTALLED SILT FENCE BARRIERS SHALL BE MAINTAINED ON A REGULAR SCHEDULE WHICH MAY BE PRESCRIBED BY THE LOCAL, STATE OF FEDERAL REGULATORY AUTHORITY; BUT, AT MINIMUM SHALL BE CHECKED WEEKLY AS WELL AS AFTER EACH STORM EVENT. MAINTENANCE SHALL CONSIST OF AN INSPECTION OF THE ENTIRE LENGTH OF THE BARRIER TO DETERMINE IF IT IS FUNCTIONING AS INTENDED. ALL BREAKS, DETACHED FABRIC, SLUMPED FABRIC, CLOGGED FABRIC, AND UNDERMINED AREAS SHALL BE FIXED THE DAY THAT THEY ARE DISCOVERED.
11. WHEN A MAXIMUM OF SIX (6) INCHES OF SEDIMENT HAS ACCUMULATED BEHIND THE SILT FENCE THIS SEDIMENT SHALL BE REMOVED AND THE FENCE SHALL BE INSPECTED FOR TEARS, CLOGGING OF BREAKS. ALL DEFICIENCIES SHALL BE CORRECTED IMMEDIATELY EITHER BY REPAIR OR REPLACEMENT OF THE SILT FENCE BARRIER AND/OR STAKES AS NEEDED.
12. SILT FENCE BARRIERS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN CLEANED OF SILT AND PERMANENTLY STABILIZED.



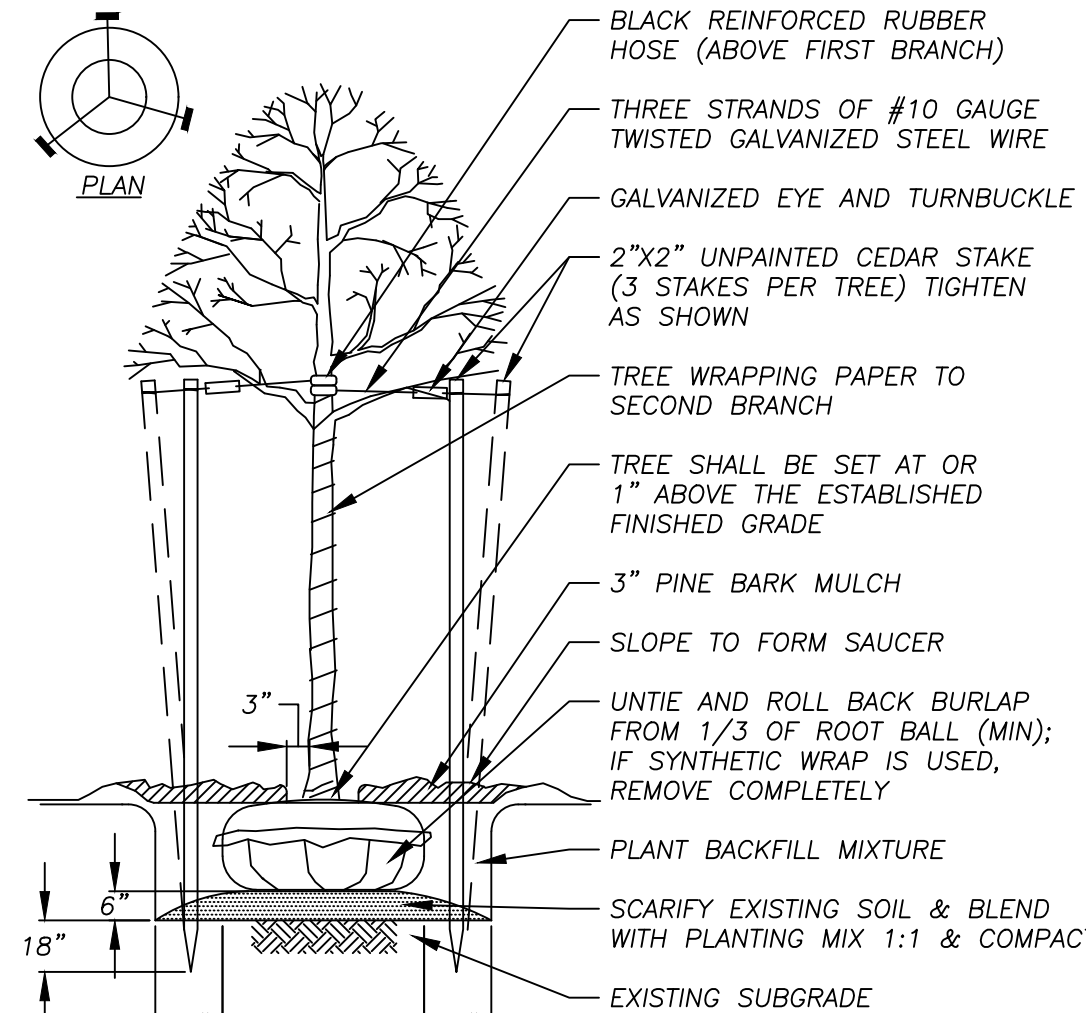
SILT FENCE DETAIL

NO SCALE



SLOPE PROTECTION MATERIAL INSTALLATION (AS REQ'D)

NO SCALE



TREE PLANTING DETAIL

NO SCALE

RLA
R LEVESQUE
ASSOCIATES INC.
Landscape Architects
Civil Engineers · Land Surveyors
Environmental Consultants
ph: 413.568.0985 fax: 413.568.0986
40 School Street
Westfield, MA 01085
rlaland.com

DETAILS
1014 North Street Extension
Parcel I.D. #D13 210
Feeding Hills, Mass.

MASSACHUSETTS
REGISTERED LANDSCAPE ARCHITECT
6/20/25
PREPARED FOR:
VIP Homes & Associates, LLC
c/o Mr. Vladimir Ruha
29 Avalon Place
Feeding Hills, MA 01030
ISSUANCE DATE: June 24, 2025
REVISIONS:
A. Notes added
DATE:
6/20/25
DRAFTED BY: J.L. & R.N.
UNAUTHORIZED ALTERATION OF
THIS DOCUMENT IS A VIOLATION
OF MASSACHUSETTS STATE LAW
SCALE: As Noted
RLA PROJ. NUMBER: 240713
DRAWING# W-2 REV. A

PERMITTING

MICHAEL MOCKO ENVIRONMENTAL CONSULTANT

**36 Hampden Road
Stafford Springs, CT 06076
Telephone- 860-684-7205
Cell - 860-933-0997**

June 11, 2025

Town of Agawam
Conservation Commission
36 Main Street
Agawam, MA 01001

Attention: Taryn Egerton

Re: 1014 North Street Ext.
Agawam, MA
DEP File #: WE 087-0684

Dear Commissioners:

On behalf of my client, VIP Homes and Associates, LLC, I would like to request a continuance of the public hearing of the Agawam Conservation Commission to the next scheduled meeting.

Sincerely,

A handwritten signature in black ink that reads "Michael Mocko". The signature is written in a cursive, flowing style.

Michael Mocko

Cc: Emily Stockman, MS, PWS - Stockman Associates
VIP Homes and Associates, LLC, Applicant/Owner
Rob Levesque, Levesque Associates

May 27, 2025

Mr. Henry Kozloski, Chair
Town of Agawam Conservation Commission
750 Cooper Street
Agawam, MA 01001

Re: Notice of Intent – Single Family Home
1014 North Street Extension
Feeding Hills, Massachusetts 01030
(Map D13, Block 2, Parcel 10)
DEP File # 087-0684
Third Party Review-Supplemental Review 3

Dear Mr. Kozloski and Commissioners:

Per your request, Stockman Associates LLC performed a wetland consultant peer review of the Notice of Intent (NOI) submitted by Michael Mocko Environmental Consultant on behalf of their client, VIP Homes & Associates LLC, for the proposed construction of a single-family home. The proposed project impacts protected Bordering Vegetated Wetland.

Materials Reviewed

- Revised May 8, 2025 site plan entitled "*Conservation Filing Plan 1014 North Street Extension Parcel ID# D13 2 10 Feeding Hills, MA*" prepared by R Levesque Associates Inc.
- BVW Delineation Forms prepared by Michael Mocko Environmental dated April 27, 2025.

Site Visit

- Stockman Associates LLC performed a site visit on May 20, 2025. Also present were Mike Mocko (Mocko Environmental), Robin Mocko (Mocko Environmental), Henry Kozloski (ACC), Frank Meagher (ACC), and Page Fallon (ACC). Magda Galiatsos (ACC) was also present for a portion of the site visit.

Review Findings

Resource Area Boundaries

- 1) Stockman Associates concurs with the delineation of the BVW boundaries depicted on the revised May 8, 2025 site plan entitled "*Conservation Filing Plan 1014 North Street Extension Parcel ID# D13 2 10 Feeding Hills, MA*" prepared by R Levesque Associates Inc. as described below:
 - a. Stockman Associates concurs with the BVW boundaries demarcated by flags W1-3, W1-2, W1-1, W-1, W-2, W-3, W-5, W-7 through and including W-13, W-14A, W-15A, W-16A, W-17A, W-18, W101B, W102B, W102, W103B, W104B, W-105, W-106, W-107, W-301, W-302, W-303, and W-304.

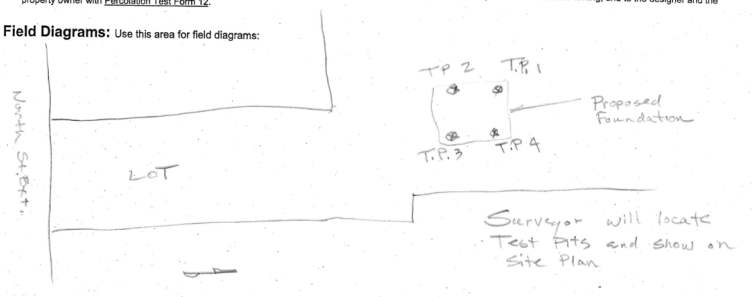
- a. The ADDENDUM TO NARRATIVE dated October 26, 2022 and submitted in response to the October 12, 2022 MA DEP comment letter does not address the supporting documented in the Massachusetts Inland Wetland Replacement Guideline Second Edition, September 2022. Furthermore, the ADDENDUM does not provide an analysis of 310 CMR 10.55(4). Rather, the ADDENDUM asserts conclusions under sections 310 CMR 10.55(4)(a) and (b). Please see peer review comment #6 from the April 20, 2023 letter prepared by Stockman Associates LLC. An updated narrative has not been provided with the current site plan.
- b. At this time, the NOI application lacks an assessment of the proposed impacts to BVW demonstrating that adverse impacts have been avoided and minimized.
 - i. The proposed paved driveway is described as 12-FT width with 3-FT shoulders (18-FT width). Grading associated with the driveway results in further fill within BVW (upwards of approximately 25-FT total width).
 1. The applicant should assess whether the driveway width can be reduced to a minimum legal and practical width acceptable to the planning board.
 2. To reduce impacts to BVW associated with grading the applicant should assess the feasibility of installing retaining walls.
 - ii. The proposed construction includes a 38 x 56-FT single-family house with garage. The application lacks an assessment of minimizing impacts to BVW by reducing the house size, removing the garage, shifting the location, and reducing grading (e.g., installation of retaining walls, etc.)
- 8) Two culverts are proposed where the driveway crosses the BVW, presumably to provide a hydrologic connection between the western and eastern portions of the BVW. The applicant should address the functionality of the culverts (particularly the smaller, 6-IN culvert). A discussion on culvert sizing has not been provided. The original NOI site plan indicated two 12-IN culverts. The smaller, 6-IN culvert will be more susceptible to clogging. Maintenance requirements for the culverts have not been provided.
- 9) A portion of the BVW to be impacted by the driveway contains a historic "*drainage ditch*" (Flags D-101 to D-104). The original NOI site plan indicated a 12-IN culvert at the historic "*drainage ditch*." The current site plan does not depict a culvert within this area. The application would benefit from a discussion regarding the siting of culverts and the extent to which the filling of the historic "*drainage ditch*" BVW adversely minimized flood control and storm damage prevention.
- 10) Per the Massachusetts Inland Wetland Replacement Guideline Second Edition, September 2022, an evaluation of existing BVW conditions and functions should be provided, including but not limited to, the BVW's function in flood control and storm damage prevention. The extent to which the filling of four (4) historic "*drainage ditch*" BVWs adversely minimized flood control and storm damage prevention and how these interests are mitigated/served by the replication area has not been provided.
- 11) Proposed access to the BVW replication area is via a temporary mat. The May site plan states that the BVW is to be restored after the mat is removed. A detailed restoration plan has not been provided.

- 12) Stockman Associates recommends that planting list for the BVW replication area be expanded to address the need for potential substitute species, if needed, due to nursery availability.
- 13) Stockman Associates concurs with the concerns raised in the February 11, 2025 Engineering Review memorandum. The February 13, 2025 response letter from Mocko indicates further review and a site walk. An updated response has not been provided at this time.
- 14) Soil tests performed to assess foundation stability were emailed by Mocko Environmental on September 30, 2023 indicating that the test pit locations would be located by survey. The May 8, 2025 site plan does not depict the location of the soil pits. Based on observations made during the site visit, including the staked corners of the proposed house, soils were not assessed at the current proposed house location but further to the northwest. The proposed house site (foundation) is partially located within three historic "drainage ditch" portions of the BVW. The Commission is encouraged to await review by the Engineering Department prior to closing the hearing. In their February 11, 2025 memorandum the Engineering Department stated concerns that the wetland soils onsite are not structurally sufficient to support the proposed structure.

15.107. *Michael Mocko*
Signature of Soil Evaluator Date 9-14-23
SE 1154
Typed or Printed Name of Soil Evaluator / License # Expiration Date of License 6-30-2025
Michael Aldro Engineering Dept.
Name of Approving Authority Witness Approving Authority

Note: In accordance with 310 CMR 15.018(2) this form must be submitted to the approving authority within 60 days of the date of field testing, and to the designer and the property owner with Percolation Test Form 12.

Field Diagrams: Use this area for field diagrams:



15form11.doc - rev. 3/15/18 Form 11 - Soil Reliability Assessment for On-Site

Buffer Zone

- 15) As stated in 310 CMR 10.53(1), "...For work in the Buffer Zone subject to review under 310 CMR 10.02(2)(b)3., the Issuing Authority shall impose conditions to protect the interests of the Act identified for the adjacent Resource Area. The potential for adverse impacts to Resource Areas from work in the Buffer Zone may increase with the extent of the work and the proximity to the Resource Area. The Issuing Authority may consider the characteristics of the Buffer Zone, such as the presence of steep slopes, that may increase the potential for adverse impacts on Resource Areas. Conditions may include limitations on the scope and location of work in the Buffer Zone as necessary to avoid alteration of Resource Areas. The Issuing Authority may require erosion and sedimentation controls during construction, a clear limit of work, and the preservation of natural vegetation adjacent to the Resource Area and/or other measures commensurate with the scope and location of the work within the Buffer Zone to protect the interests of M.G.L. c. 131, § 40..."
- 16) Subsequent to the original NOI submitted in 2022, the identification of protected BVW and the proposed project design have both changed. The most recent submittal to the

Conservation Commission lacked an updated narrative describing the current proposed project and an evaluation of under 310 CMR 10.53(1) as well as 10.55(4).

- 17) The Commission should consider how the removal of mature trees and increase in impervious surface within Buffer Zone will impact the hydrology of the adjacent BVW.
- 18) The Commission should consider the loss of native vegetation associated with the construction of the proposed BVW replication area. The proposed replication area exceeds the size requirement under 310 CMR 10.55(4)(1) and could be reduced to preserve forested Buffer Zone.

Site Plan

- 19) Buffer Zone boundaries should be updated to reflect the revised BVW boundaries. The depicted 50' Buffer Zone shown within the northerly portion of the property does not reflect the historic "drainage ditch" BVWs.
- 20) For clarity, the term "jurisdictional BVW" should be added to the callout for the historic "drainage ditches".
- 21) The original NOI site plan provided a detail on the driveway construction. The revised site plan does not include any details or cross sections. Updated details and cross-sections should be provided on a revised site plan.
- 22) A legend should be added to the site plan.
- 23) Note 3.3 lacks a unit after 25. The note is taken directly from the recorded property deed which also lacks a unit. From the site plan, it is assumed that the distance is 25-FT.
- 24) A construction sequence of work should be provided.
- 25) A dewatering plan should be provided.
- 26) The site plan would benefit from a detail regarding side slope stabilization and culvert installation.

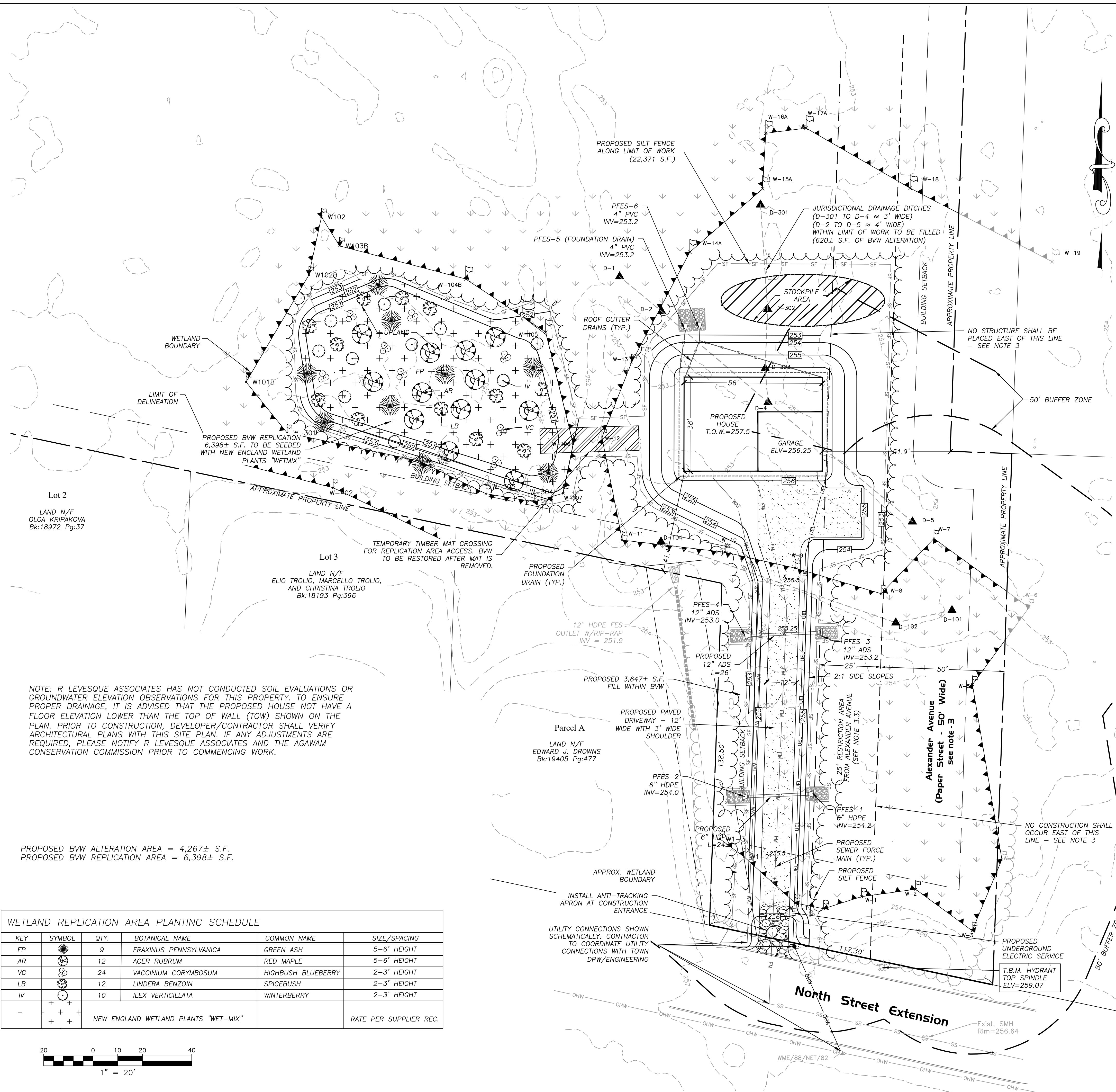
I trust that the above comments will assist the Commission in their review of the previously referenced NOI submittal. Please do not hesitate to contact me with any questions.

Sincerely,



Emily Stockman, M.S., P.W.S.
Senior Scientist/Principal
Stockman Associates LLC

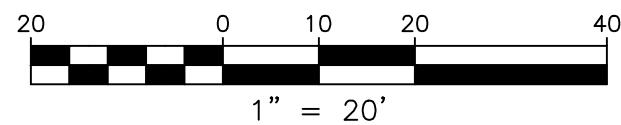




NOTE: R LEVESQUE ASSOCIATES HAS NOT CONDUCTED SOIL EVALUATIONS OR GROUNDWATER ELEVATION OBSERVATIONS FOR THIS PROPERTY. TO ENSURE PROPER DRAINAGE, IT IS ADVISED THAT THE PROPOSED HOUSE NOT HAVE A FLOOR ELEVATION LOWER THAN THE TOP OF WALL (TOW) SHOWN ON THE PLAN. PRIOR TO CONSTRUCTION, DEVELOPER/CONTRACTOR SHALL VERIFY ARCHITECTURAL PLANS WITH THIS SITE PLAN. IF ANY ADJUSTMENTS ARE REQUIRED, PLEASE NOTIFY R LEVESQUE ASSOCIATES AND THE AGAWAM CONSERVATION COMMISSION PRIOR TO COMMENCING WORK.

PROPOSED BVW ALTERATION AREA = 4,267± S.F.
PROPOSED BVW REPLICATION AREA = 6,398± S.F.

WETLAND REPLICATION AREA PLANTING SCHEDULE					
KEY	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/SPACING
FP		9	FRAXINUS PENNSYLVANICA	GREEN ASH	5-6' HEIGHT
AR		12	ACER RUBRUM	RED MAPLE	5-6' HEIGHT
VC		24	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-3' HEIGHT
LB		12	LINDERA BENZOIN	SPICEBUSH	2-3' HEIGHT
IV		10	ILEX VERTICILLATA	WINTERBERRY	2-3' HEIGHT
-		+	NEW ENGLAND WETLAND PLANTS "WET-MIX"		RATE PER SUPPLIER REC.



NOTES

- THE RECORD OWNER OF THE SUBJECT PARCEL IS VIP HOMES & ASSOCIATES, LLC. SEE HAMPDEN COUNTY REGISTRY OF DEEDS BOOK 16050 PAGE 452 & BOOK 20074 PAGE 89.
- THE PROPERTY LINES SHOWN ARE BASED ON THE ABOVE DEED REFERENCES AND ARE APPROXIMATE.
- PROPERTY IS SUBJECT TO DEED RESTRICTIONS IN DEED BOOK 20074 PAGE 89 WHICH STATE:
 - "ANY ACCESS TO THE PROPOSED HOME BY V.I.P. HOMES & ASSOCIATES, LLC. OR ANY ENTITY FOR A DRIVEWAY WILL NOT BE ON ANY PART OF ALEXANDER AVENUE, FEEDING HILLS, MASSACHUSETTS 01030."
 - "THERE WILL BE NO CONSTRUCTION OF ANY KIND ON ANY PART OF ALEXANDER AVENUE, FEEDING HILLS, MASSACHUSETTS 01030."
 - "ANY CONSTRUCTION OF A HOME BY V.I.P. HOMES & ASSOCIATES, LLC, OR ANY ENTITY WILL BE AT LEAST 25 WEST OF THE WESTERN BOUNDARY OF ALEXANDER AVENUE, FEEDING HILLS, MASSACHUSETTS 01030."
- THE EXISTING BUILDING(S) SHOWN HEREON ARE BASED ON AN APPROXIMATE MEASUREMENT OF THE OUTSIDE PERIMETER OF THE EXISTING STRUCTURES. THE ACTUAL LOCATION OF THE EXISTING BUILDING WALLS AND CORNERS SHOULD BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION WORK THAT WOULD ADJUT OR TAKE PLACE ADJACENT TO THE EXISTING BUILDING(S). IF THE PLAN HEREON IS USED FOR CONSTRUCTION LAYOUT PURPOSES, THE PARTIES CONDUCTING LAYOUT SHALL CONTACT R. LEVESQUE ASSOCIATES INC. PRIOR TO SAID LAYOUT TO DETERMINE PROPER CONTROL. PLEASE NOTE WHILE THE BUILDING(S) ARE SHOWN TO BE SQUARE, IT SHOULD NOT BE ASSUMED THAT THE WALLS ARE SQUARE OR PLUMB. R. LEVESQUE ASSOCIATES TAKES NO RESPONSIBILITY FOR THIRD PARTY LAYOUT OF THE PLAN SHOWN HEREON.
- THIS PLAN HAS BEEN PREPARED FOR CONSERVATION PERMITTING PURPOSES AND SHALL NOT BE USED FOR THE CONVEYANCE OF LAND OR FOR ANY OTHER USE.
- SUBJECT PARCEL CONTAINS APPROXIMATELY 2.25 ACRES.
- THE SUBJECT PROPERTIES SHOWN HEREON MAY BE SUBJECT TO RIGHTS AND EASEMENTS AS CONTAINED IN THE VARIOUS DEEDS OF RECORD DESCRIBING SAID PROPERTIES. THE LOCATION AND EXTENT OF ANY SUCH RIGHTS AND EASEMENTS IS NOT THE SUBJECT OF THIS PLAN.
- WETLAND RESOURCE AREAS WERE DELINEATED BY MIKE MOCKO ENVIRONMENTAL. R LEVESQUE ASSOCIATES MAKES NO ASSERTION AS TO ACCURACY OF WETLAND DELINEATION.
- THE TOPOGRAPHIC INFORMATION SHOWN IS BASED ON NOAA LIDAR DATA.
- THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, AND AVAILABLE RECORD DATA. R LEVESQUE ASSOCIATES, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. R LEVESQUE ASSOCIATES, INC. FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HERE ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION. NOT ALL UTILITIES HAVE BEEN SHOWN.
- ADJACENT PROPERTY LINES AND ABUTTERS SHOWN HEREON ARE REFERENCED FROM AGAWAM GIS AND ARE APPROXIMATE.
- SUBJECT PARCEL IS SPLIT ZONED RESIDENCE A2 AND AGRICULTURAL ACCORDING TO THE AGAWAM ZONING MAP.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD ZONE AREA ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 2501300383E - EFFECTIVE DATE: 7-16-2013.
- THE SUBJECT PROPERTY IS NOT LOCATED WITHIN NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (NHESP) JURISDICTION.

ZONING REVIEW - Agricultural

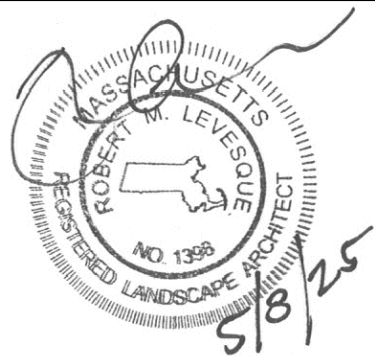
TYPE (MINIMUM)	REQUIRED	PROPOSED
AREA	20,000 FT ²	2.25± ACRES
FRONTAGE	120 FT	177± FT
FRONT YARD	35 FT	180± FT
SIDE YARD	15 FT	41.4± FT
REAR YARD	20 FT	150+ FT
HEIGHT (MAX)	35 FT	35 FT
BUILDING COVERAGE (MAX)	NONE	1.8%

ZONING REVIEW - Residence A2

TYPE (MINIMUM)	REQUIRED	PROPOSED
AREA	15,000 FT ²	2.25 ACRES
FRONTAGE	110 FT	177± FT
FRONT YARD	30 FT	180+ FT
SIDE YARD	15 FT	41.4± FT
REAR YARD	20 FT	150+ FT
HEIGHT (MAX)	35 FT	35 FT
BUILDING COVERAGE (MAX)	40%	1.8%

CONSERVATION FILING PLAN

1014 North Street Extension
Parcel I.D. #D13 2 IO
Feeding Hills, Mass.



PREPARED FOR:

VIP Homes & Associates, LLC
c/o Mr. Vladimir Ruha
29 Avalon Place
Feeding Hills, MA 01030

ISSUANCE DATE:

January 8, 2025

REVISIONS:

A. Revised wetland delineation 5/8/25

DRAFTED BY:

J.L. & R.N.

UNAUTHORIZED ALTERATION OF THIS DOCUMENT IS A VIOLATION OF MASSACHUSETTS STATE LAW

SCALE:

As Noted

RLA PROJ. NUMBER:

240713

DRAWING#

W-1

REV.

A

PERMITTING

February 24, 2025

Mr. Henry Kozloski, Chair
Town of Agawam Conservation Commission
750 Cooper Street
Agawam, MA 01001

Re: Notice of Intent – Single Family Home
1014 North Street Extension
Feeding Hills, Massachusetts 01030
(Map D13, Block 2, Parcel 10)
DEP File # 087-0684
Third Party Review Proposal-Additional Services

Dear Mr. Kozloski and Commissioners:

It is our understanding that the Agawam Conservation Commission is seeking an estimate for a wetland consultant peer review of the revised Notice of Intent (NOI) materials submitted by Michael Mocko Environmental Consultant and R Levesque Associates, Inc on behalf of their client, VIP Homes & Associates LLC, for the proposed construction of a single-family home with a Bordering Vegetated Wetland driveway crossing.

Scope of Work

Field Work

Site Visit: to review and confirm field work performed by Michael Mocko Environmental Consultant and the proposed work area depicted on the revised NOI site plan “*Conservation Filing Plan 1014 North Street Extension Parcel ID# D13 2 10 Feeding Hills, MA*” prepared by R Levesque Associates Inc. dated January 8, 2025. It is anticipated that boundary delineation flagging will be clearly visible and labeled in the field. Observation plots utilized by Michael Mocko Environmental Consultant to evaluate soils, vegetation, and hydrology should also be clearly marked on a site plan and in the field for review. The site visit will also include a review of the proposed project area to inspect for the presence of any additional resource areas not identified on the submitted site plans.

Furthermore, it is anticipated that a representative from Michael Mocko Environmental Consultant as well as members of the Agawam Conservation Commission may be present during the site visits.

Please note that we are currently outside of the growing season. Field review is dependent on weather and site conditions. Based on the request by R Levesque Associates Inc., the site visit will be scheduled in April 2024 based on the weather.

Estimated ½ Field Day

Materials Review

Notice of Intent (NOI) Additional Materials Review: including the review of the revised NOI site plan "Conservation Filing Plan 1014 North Street Extension Parcel ID# D13 2 10 Feeding Hills, MA" prepared by R Levesque Associates Inc. dated January 8, 2025, the response to Agawam Engineering Department Comments submitted by Michael Mocko Environmental Consultant dated February 13, 2025, and a single, anticipated, forthcoming submittal from the applicant/representatives.

The review will be performed under the Massachusetts Wetlands Protect Act (MA WPA) regulations (310 CMR 10.00). It is our understanding that the Town of Agawam does not have a local wetland protection bylaw.

Reporting

Review Findings: including a findings report and recommendations based on the materials review and the site visit. The report will specifically address concurrence and non-concurrence with resource area boundaries as presented in the revised NOI site plan. The report will also address compliance with applicable resource area performance standards.

Meetings

Attendance: This proposal includes attendance at the April 24, 2025 Agawam Conservation Commission meeting.

Total Cost Estimate

Estimated Hours (including travel) 25 hours
\$2,750

Please note that the above cost estimate has been provided based on the cited revised NOI materials and excludes any follow-up review. Any additional submittals, additional site visits, and/or public hearings would be considered extra work beyond the proposed scope. If additional review is requested during the process, Stockman Associates LLC will provide a scope of work cost estimate for these services.

Hourly Rates (including travel):

Wetland Scientist \$110/hour
Field Technician \$65/hour

Our receipt of a signed copy of this proposal is required to authorize Stockman Associates LLC to proceed with the work outlined above in our Scope of Services and on the attached General Contract Conditions.

As discussed, work will commence after receipt of a signed authorization to proceed and confirmation of funding. Based on the request by R Levesque Associates Inc., the site visit will be scheduled in April 2024 based on the weather.

I look forward to working with you on this project. Thank you for considering Stockman Associates LLC.

If you have any questions regarding the above estimate, please do not hesitate to contact me at emily@stockmanassociates.com or at 413-743-1372.

Sincerely,



Emily Stockman, M.S., P.W.S.
Senior Scientist/Principal
Stockman Associates LLC

AUTHORIZATION TO PROCEED

Agawam Conservation Commission

Notice of Intent – Single Family Home

1014 North Street Extension

Feeding Hills, Massachusetts 01030

(Map D13, Block 2, Parcel 10)

DEP File # 087-0684

Third Party Review- Additional Services Proposal

I hereby authorize Stockman Associates LLC to proceed with the above-referenced project in accordance with the Scope of Services described herein.

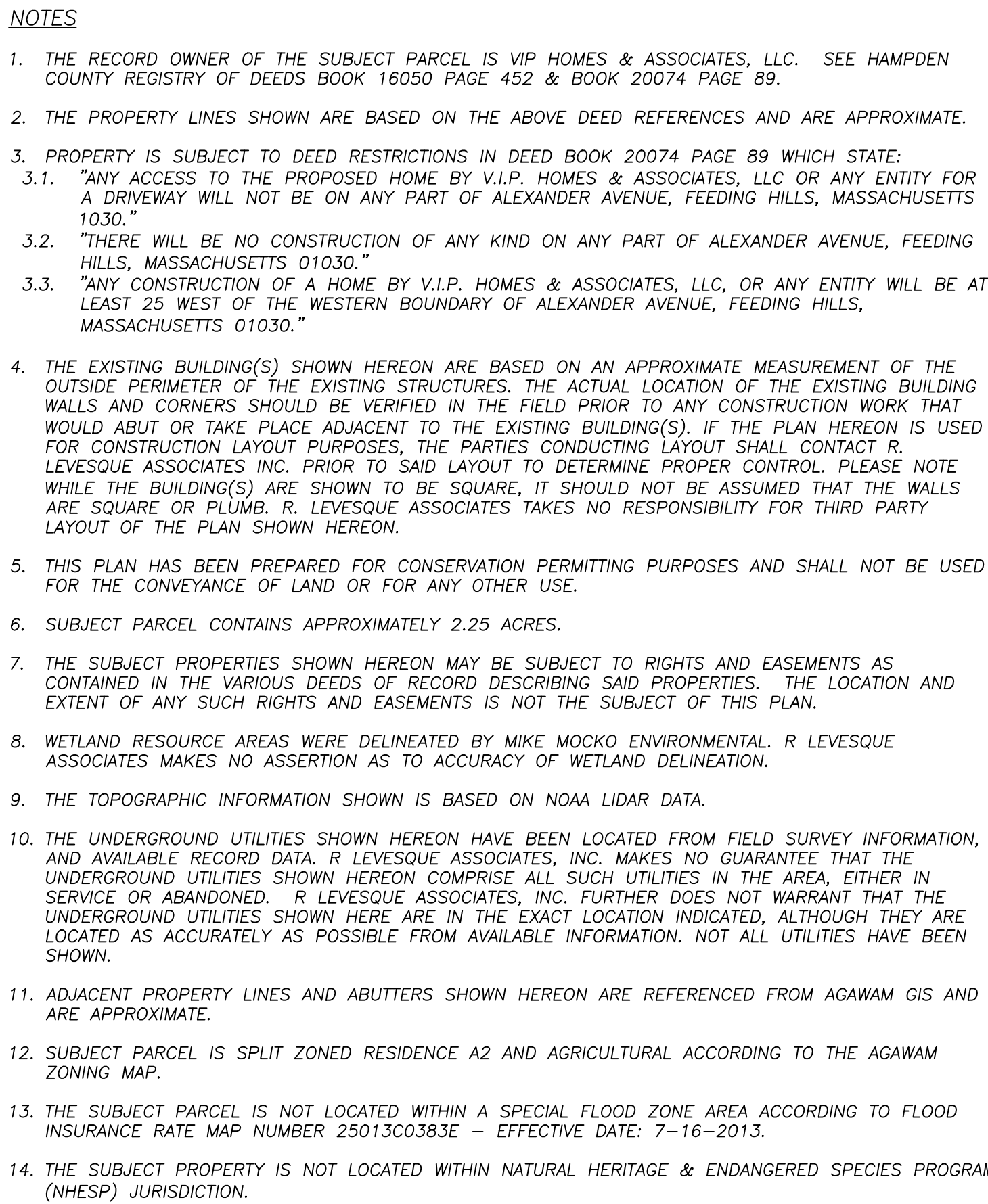
Agawam Conservation Commission

Printed Name

Date

Signature

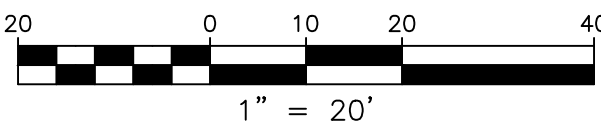
Title



ZONING REVIEW - Agricultural		
TYPE (MINIMUM)	REQUIRED	PROPOSED
AREA	20,000 FT ²	2.25± ACRES
FRONTAGE	120 FT	177± FT
FRONT YARD	35 FT	180+ FT
SIDE YARD	15 FT	41.4± FT
REAR YARD	20 FT	150+ FT
HEIGHT (MAX)	35 FT	35 FT
BUILDING COVERAGE (MAX)	NONE	1.8%

ZONING REVIEW - Residence A2		
TYPE (MINIMUM)	REQUIRED	PROPOSED
AREA	15,000 FT ²	2.25 ACRES
FRONTAGE	110 FT	177 ± FT
FRONT YARD	30 FT	180+ FT
SIDE YARD	15 FT	41.4± FT
REAR YARD	20 FT	150+ FT
HEIGHT (MAX)	35 FT	35 FT
BUILDING COVERAGE (MAX)	40%	1.8%

WETLAND REPLICATION AREA PLANTING SCHEDULE					
KEY	SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/SPACING
FP		10	FRAXINUS PENNSYLVANICA	GREEN ASH	5-6' HEIGHT
AR		10	ACER RUBRUM	RED MAPLE	5-6' HEIGHT
VC		12	VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-3' HEIGHT
LB		5	LINDERA BENZOIN	SPICEBUSH	2-3' HEIGHT
IV		5	ILEX VERTICILLATA	WINTERBERRY	2-3' HEIGHT
-	   	NEW ENGLAND WETLAND PLANTS "WET-MIX"			RATE PER SUPPLIER REC.



PERMITTING

WETLAND REPLICATION NOTES:
SCHEDULE:

1. WETLAND REPLICATION WORK SHALL TAKE PLACE DURING THE GROWING SEASON. WETLAND REPLICATION WORK SHALL BE DONE CONCURRENT WITH SITE WORK.
2. THE AGAWAM CONSERVATION COMMISSION (ACC) SHALL BE CONTACTED 48 HOURS IN ADVANCE OF THE START OF WORK AND A PRECONSTRUCTION SITE MEETING SHALL BE HELD WITH THE ACC, THE REGISTERED LANDSCAPE ARCHITECT (RLA) OR WETLAND SCIENTIST, AND THE APPLICANT.
3. THE RLA/WETLAND SCIENTIST, OR HIS REPRESENTATIVE, SHALL BE ON SITE AT THE START OF WORK AND CHECK ON THE PROGRESS OF THE PROJECT REGULARLY DURING WORK IN WETLANDS AND AT OTHER CRITICAL POINTS DURING CONSTRUCTION. AT A MINIMUM, THE RLA/WETLAND SCIENTIST SHALL BE PRESENT: AT THE START OF WORK; TO VERIFY SUBGRADES; AT THE BEGINNING OF PLANTING; AND TO VERIFY THAT WORK IS COMPLETE.
4. AN INSPECTION REPORT SHALL BE SUBMITTED TO THE WCC BY THE RLA DURING THE WETLAND CONSTRUCTION PERIOD.

CONSTRUCTION SEQUENCE:

1. THE RLA/WETLAND SCIENTIST SHALL STAKE OUT THE LIMITS OF THE WETLAND REPLICATION AREA BEFORE CONSTRUCTION COMMENCES AND MARK GRADE STAKES FOR CUT TO PROPER DEPTH BELOW PROPOSED FINISH GRADE FOR REPLICATION AREA.
2. INSTALL EROSION CONTROL AND SILTATION BARRIERS AT LOCATIONS SHOWN ON PLAN, PRIOR TO CONSTRUCTION. NO EQUIPMENT TRAFFIC OR OTHER ALTERATION IS PERMITTED BEYOND SEDIMENT BARRIERS OR IN WETLAND AREAS, EXCEPT FOR GRADING AS SHOWN ON THE PLAN. BARRIERS WITHIN THE WETLAND SHALL BE INSTALLED SO AS TO MINIMIZE DISTURBANCE OF THE WETLAND. SILT FENCING SHALL BE TRENCHED IN BY HAND IN WETLAND AREAS. STRAW BALES MAY BE SET DIRECTLY ON THE WETLAND SURFACE WITHOUT TRENCHING, BUT MUST BE WELL STAKED, TIGHTLY BUTTED, AND JOINTS CHINKED WITH LOOSE HAY.
3. CLEAR AND GRUB THE REPLICATION AREA AND REMOVE TOPSOIL FOR STOCKPILING ON ADJACENT LAND AS PER THESE PLANS. EXCAVATE SUBSOIL TO THE DEPTH BELOW THE FINAL GRADE SHOWN ON PLANS TO ALLOW FOR INLAY OF ORGANIC SOIL. DO NOT STOCKPILE TOPSOIL, SUBSOIL, STUMPS OR DEBRIS WITHIN RESOURCE AREAS.
4. EXCAVATION WORK SHALL BE DONE FROM OUTSIDE THE EXISTING WETLAND AND SHALL PROGRESS FROM THE WETLAND EDGE INTO THE UPLAND.
5. THE GROUNDWATER ELEVATION SHALL BE VERIFIED IN THE WETLAND REPLICATION AREA BY THE RLA ONCE THE REPLICATION AREA HAS BEEN EXCAVATED TO SUB-GRADE. IF SEASONAL HIGH GROUNDWATER IS NOT PRESENT AT OR WITHIN SUFFICIENT DEPTH TO SUPPORT WETLAND VEGETATION, MODIFICATIONS TO THE PROPOSED REPLICATION AREA TOPOGRAPHY SHALL BE MADE IN THE FIELD UNDER THE SUPERVISION OF THE RLA/WETLAND SCIENTIST.
6. REPLACE 12 INCHES OF ORGANIC SOIL INLAY TO THE REPLICATION AREA TO ACHIEVE FINAL GRADE. ORGANIC SOIL SHALL BE AN ORGANIC FINE SANDY LOAM APPROVED BY THE RLA/WETLAND SCIENTIST. IT IS ANTICIPATED THAT THE TOPSOIL EXCAVATED FROM THE REPLICATION SITE WILL BE AMENDED FOR THE WETLAND SOIL INLAY.

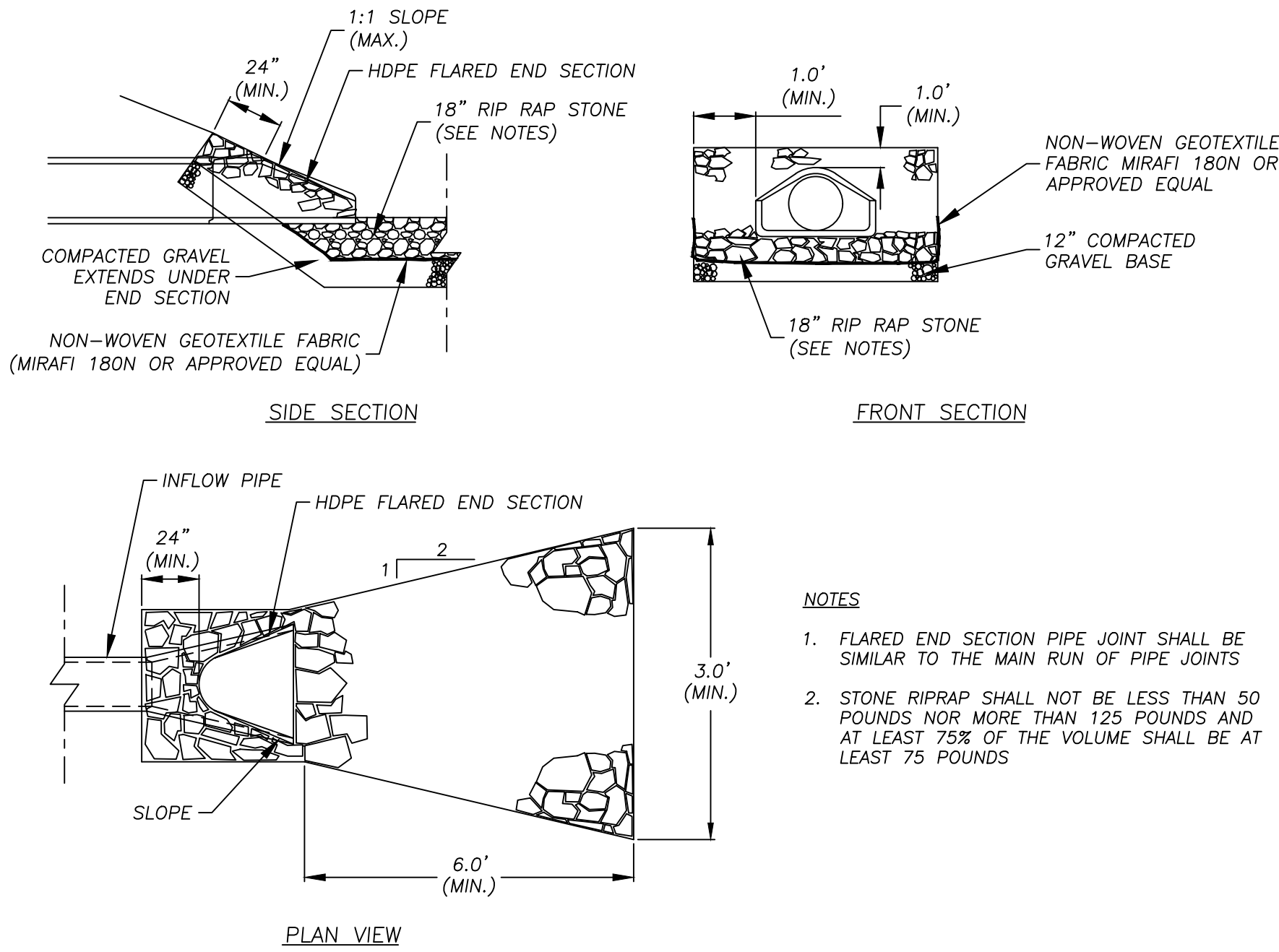
7. AVOID COMPACTION OF SUBSOILS AND PLACED WETLAND SOILS. EQUIPMENT TRAFFIC IN THE REPLICATION AREA IS TO BE MINIMIZED BY USING TRACK INSTEAD OF WHEEL MACHINES. THERE SHALL BE NO TRAFFIC ON WETLAND SOILS ALREADY PLACED.
8. WETLAND PLANT MIX, AS SPECIFIED ON THE PLANS, SHALL BE OBTAINED FROM A NURSERY IN THE NEW ENGLAND STATES. SEE NOTICE OF INTENT FILING FOR PLANTING REPLICATION AREA PLANTING SCHEDULE.
9. ALL EXPOSED SOIL WITHIN THE RESOURCE AREA(S) SHALL BE SEEDED WITH A WETLAND MIXTURE (SEE SPECIFICATION) AND MULCHED WITH WET MEADOW HAY, SALT HAY OR STRAW TO PREVENT EROSION UNTIL VEGETATION IS ESTABLISHED AND A CERTIFICATE OF COMPLIANCE IS RECEIVED FROM THE LOCAL CONSERVATION COMMISSION.
10. FINAL WETLAND REPLICATION AREA ELEVATIONS SHALL BE CERTIFIED BY THE RLA/WETLAND SCIENTIST.
11. IMPACT TO ADJACENT WETLAND AREAS SHALL BE AT A MINIMUM. STORAGE OF ANY CONSTRUCTION MATERIALS OR MACHINERY IN ADJACENT WETLAND AREAS IS PROHIBITED. USE OF HEAVY MACHINERY IN ADJACENT WETLAND AREAS IS PERMITTED FOR CONSTRUCTION OF THE REPLICATION AREA ONLY WITHIN THE LIMITS OF THE EROSION CONTROL BARRIERS. ANY ADJACENT WETLAND DISTURBED DURING CONSTRUCTION WILL BE REESTABLISHED TO ITS PRE-CONSTRUCTION CONDITION AT THE CONTRACTOR'S EXPENSE.
12. ALL SLOPES AND FILL AREAS IN BUFFER ZONE SHALL BE SEEDED AND MULCHED UPON COMPLETION OF CONSTRUCTION TO PREVENT ANY POSSIBLE IMPACT TO ADJACENT WETLAND.
13. UPON COMPLETION OF THE CONSTRUCTION PHASE OF THE WETLAND REPLICATION, THE CONTRACTOR SHALL CONTACT THE RLA/WETLAND SCIENTIST FOR AN INSPECTION. THE RLA/WETLAND SCIENTIST SHALL NOTIFY THE LOCAL CONSERVATION COMMISSION AS TO THE COMPLETION DATE.

ESTABLISHMENT & MONITORING:

1. AT THE END OF EACH GROWING SEASON, AND UNTIL COMPLIANCE WITH THE PERFORMANCE STANDARDS SET FORTH IN 310 CMR 10.55(4)(B)1-7 IS ACHIEVED, A PROGRESS REPORT SHALL BE SUBMITTED BY A REGISTERED LANDSCAPE ARCHITECT OR WETLAND SCIENTIST, TO THE LOCAL ISSUING AUTHORITY.
2. ALL WORK SHALL COMPLY WITH 310 CMR 10.55 (4)(B)1-7: WITHIN TWO GROWING SEASONS AFTER COMPLETION, AT LEAST 75% OF THE REPLICATION AREA SHALL BE ESTABLISHED WITH INDIGENOUS WETLAND PLANT SPECIES. IF AT THE END OF THE FIRST OR THE SECOND GROWING SEASON (OR BOTH), THE SUCCESS RATE IS NOT EXPECTED TO BE 75%, PLANTING AND/OR RE-SEEDING OF THE REPLICATION AREA SHALL BE UNDERTAKEN. VEGETATION MAY BE CUT OR REMOVED SELECTIVELY TO ELIMINATE NUISANCE OR INVASIVE PLANTS AND ENCOURAGE WETLAND SPECIES.

MAINTENANCE:

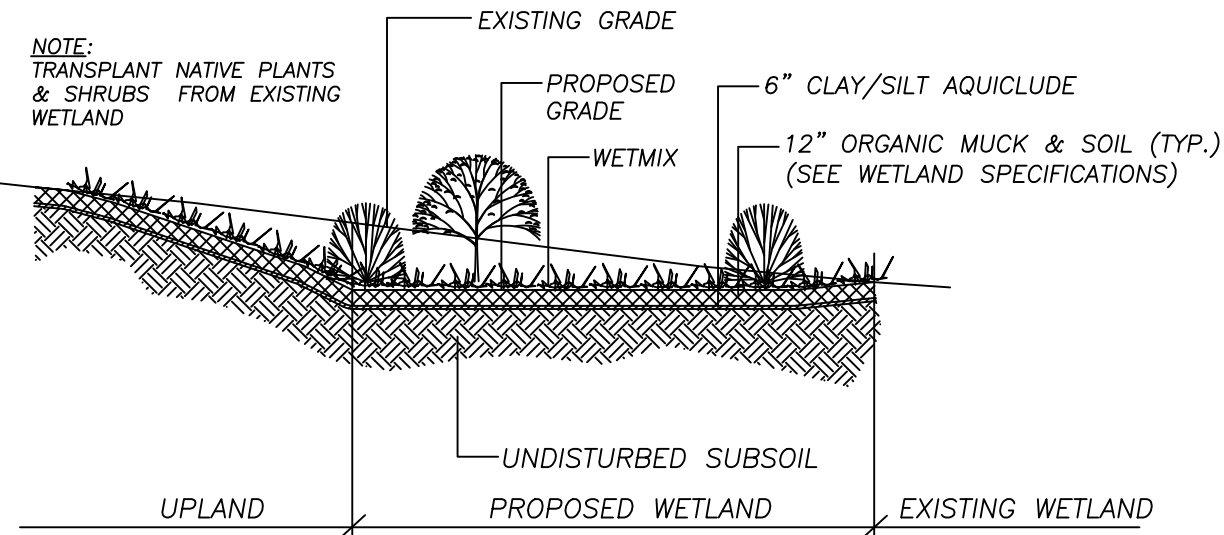
1. AFTER SUCCESSFUL ESTABLISHMENT OF WETLAND VEGETATION AND RECEIPT OF A CERTIFICATE OF COMPLIANCE, THE AREA SHALL BE PERMITTED TO GROW WITHOUT DISTURBANCE. NO CONTINUING MAINTENANCE IS REQUIRED, EXCEPT FOR THE POSSIBLE SELECTIVE PRUNING OR REMOVAL OF NUISANCE AND/OR INVASIVE SPECIES THAT MAY HAVE INVADDED THE REPLICATION AREA.



STANDARD RIP RAP PIPE OUTLET

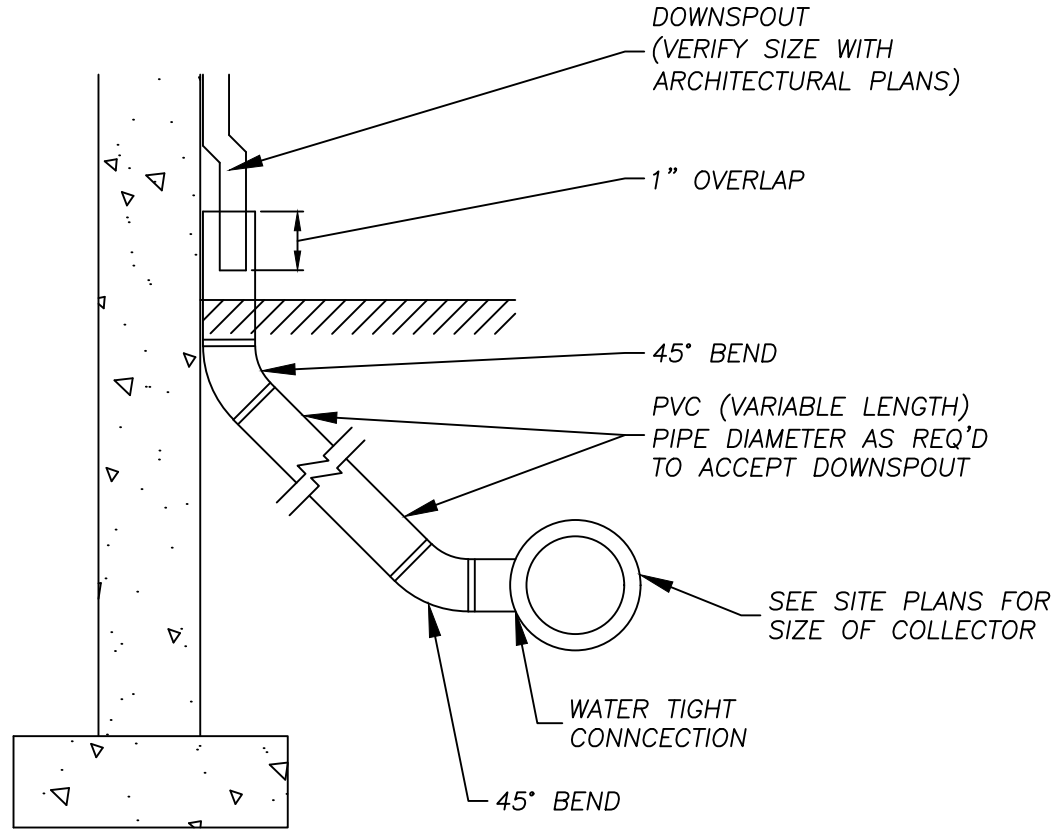
NO SCALE

SEED WETLAND REPLICATION AREA WITH "NEW ENGLAND WETMIX" BY NEW ENGLAND WETLAND PLANTS, INC., OR EQUAL APPROVED BY LANDSCAPE ARCHITECT/WETLAND SCIENTIST. SEED MIXTURE TO BE APPLIED AT A RATE OF 1.0 LB/2,500 S.F.



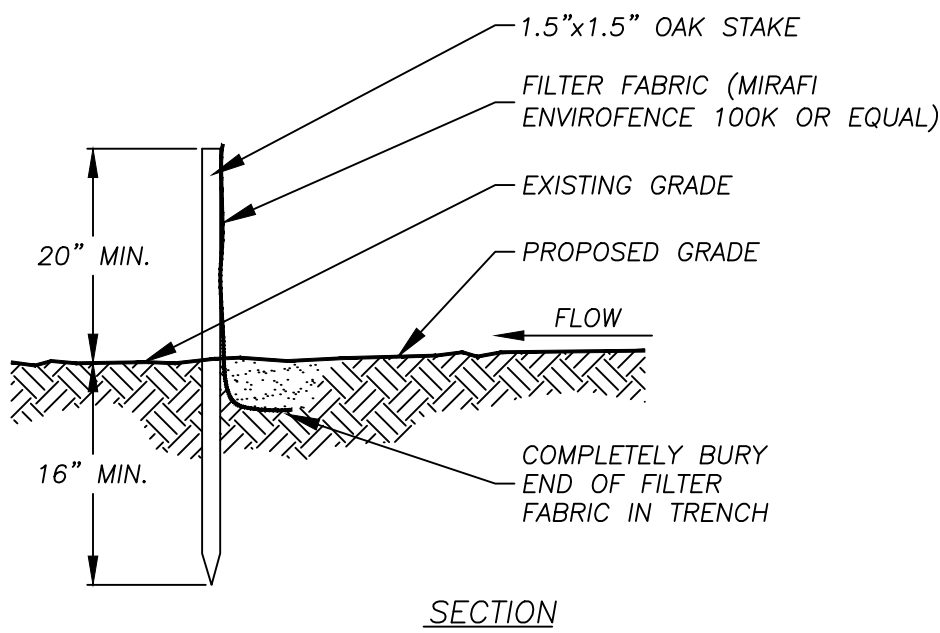
TYPICAL WETLAND REPLICATION AREA - CROSS SECTION

NO SCALE



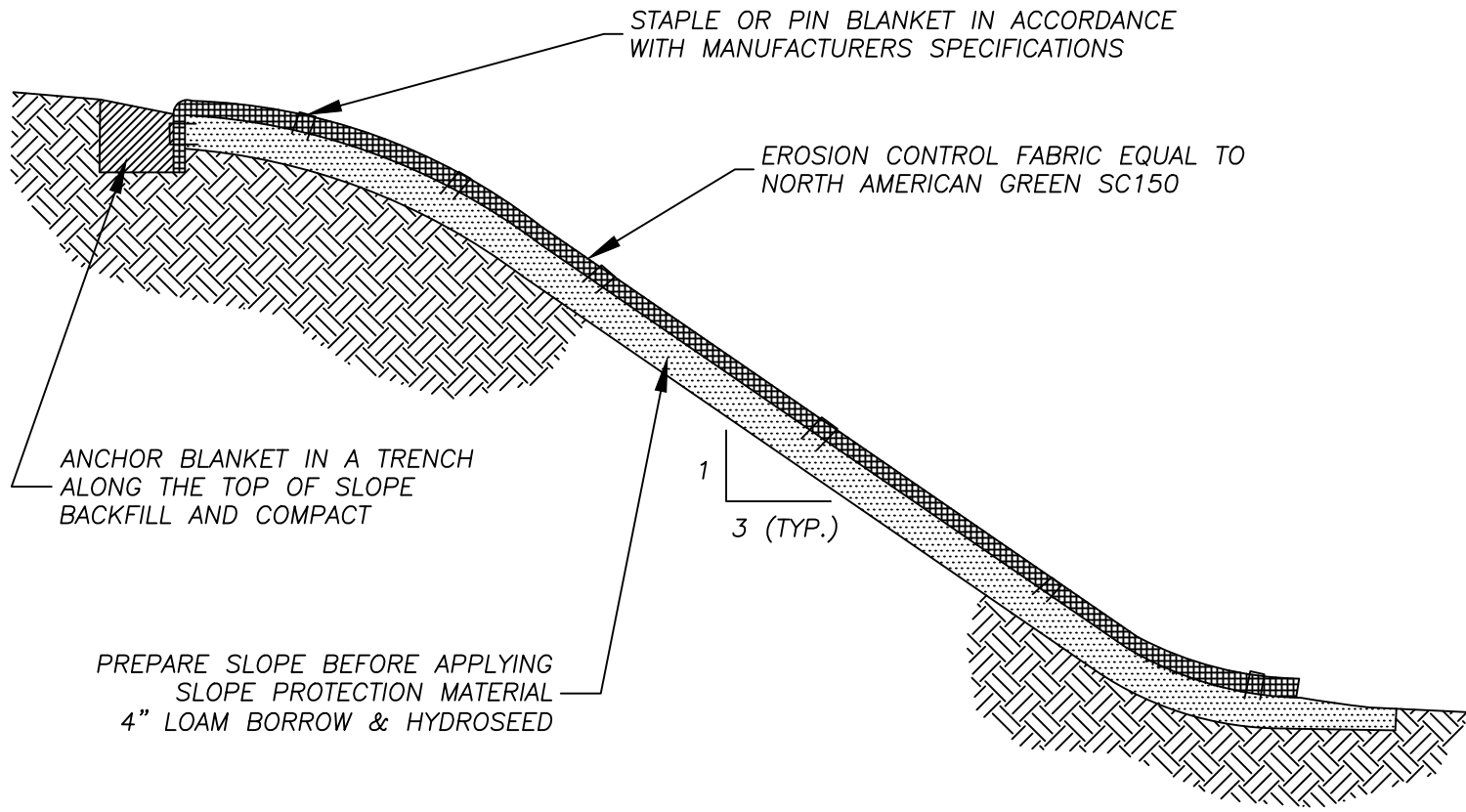
DOWNSPOUT COLLECTOR DETAIL

NO SCALE



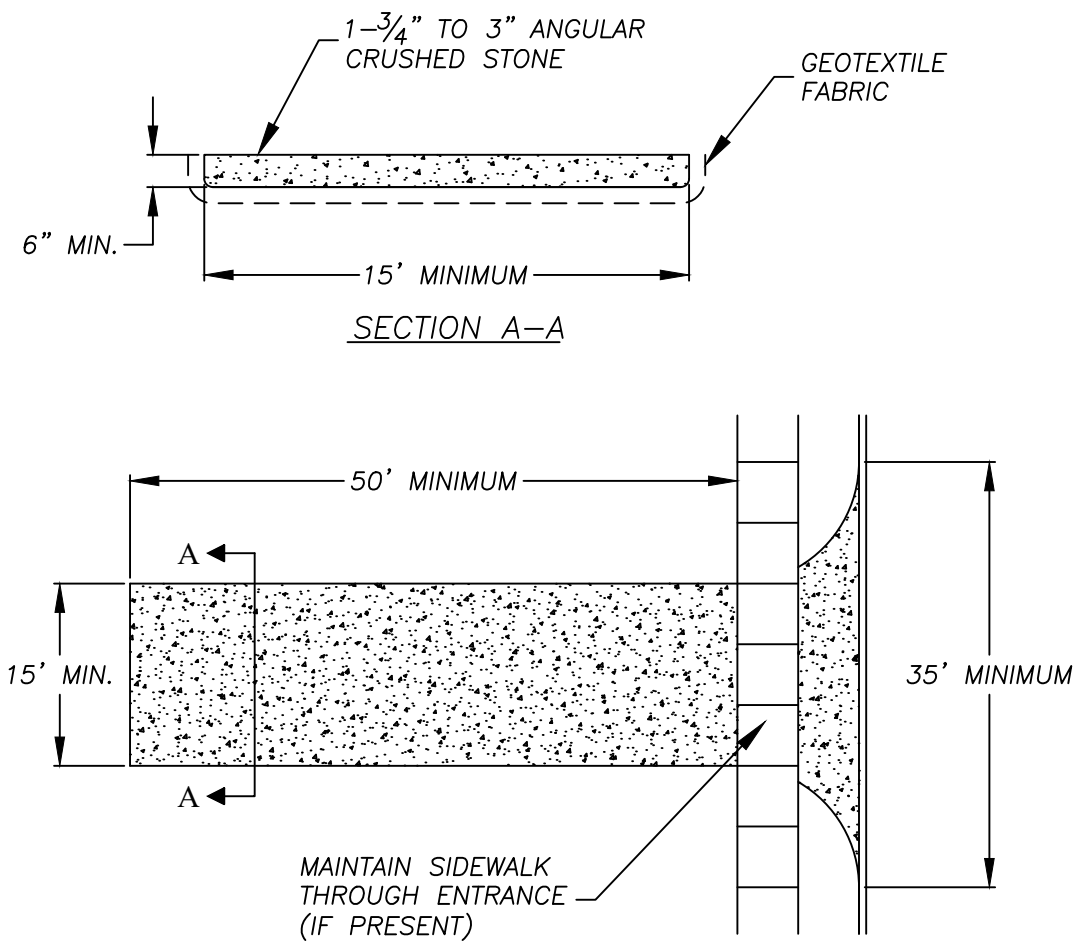
SILT FENCE DETAIL

NO SCALE



SLOPE PROTECTION MATERIAL INSTALLATION (AS REQ'D)

NO SCALE

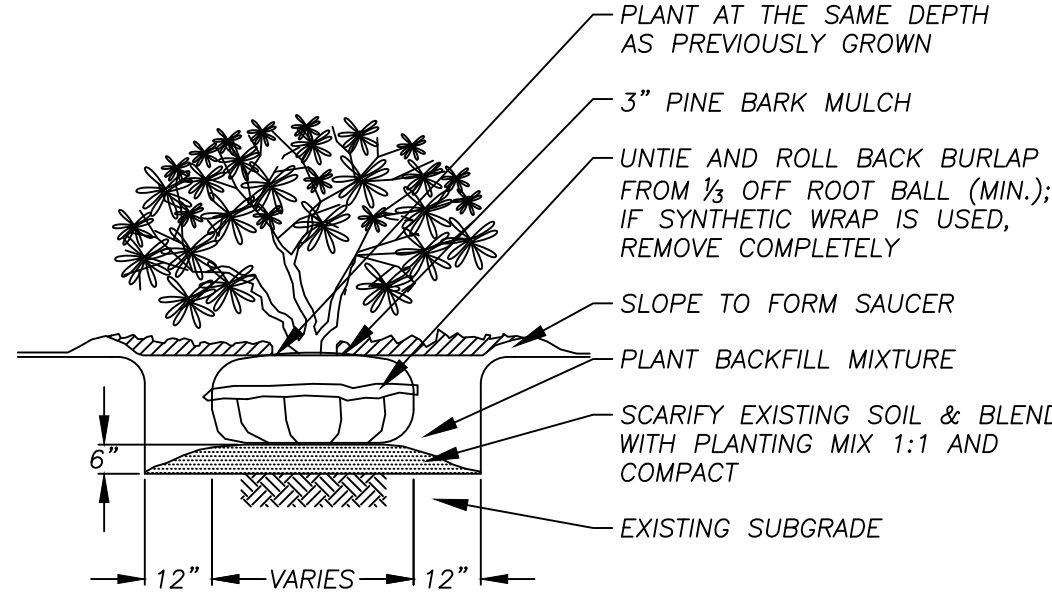


NOTES

1. EACH SITE ENTRANCE IS TO HAVE A TEMPORARY CONSTRUCTION ENTRANCE.
2. STONE IS TO BE 1-3/4" TO 3" ANGULAR CRUSHED STONE.
3. PLACE GEOTEXTILE OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
4. ANY SEDIMENT TRACKED INTO THE ROADWAY NEEDS TO BE CLEANED IMMEDIATELY.
5. ADDITIONAL STONE IS TO BE ADDED TO THE PAD AS NEEDED TO MAINTAIN THE ORIGINAL DEPTH.
6. ANY SIDEWALK DAMAGED DURING CONSTRUCTION MUST BE REPLACED AT THE CONTRACTORS/DEVELOPERS EXPENSE.
7. SIDEWALK MUST REMAIN PASSABLE, IF THE SIDEWALK BECOMES UNSAFE OR IMPASSABLE, A TEMPORARY SIDEWALK/ SIDEWALK DETOUR MUST BE PROVIDED.

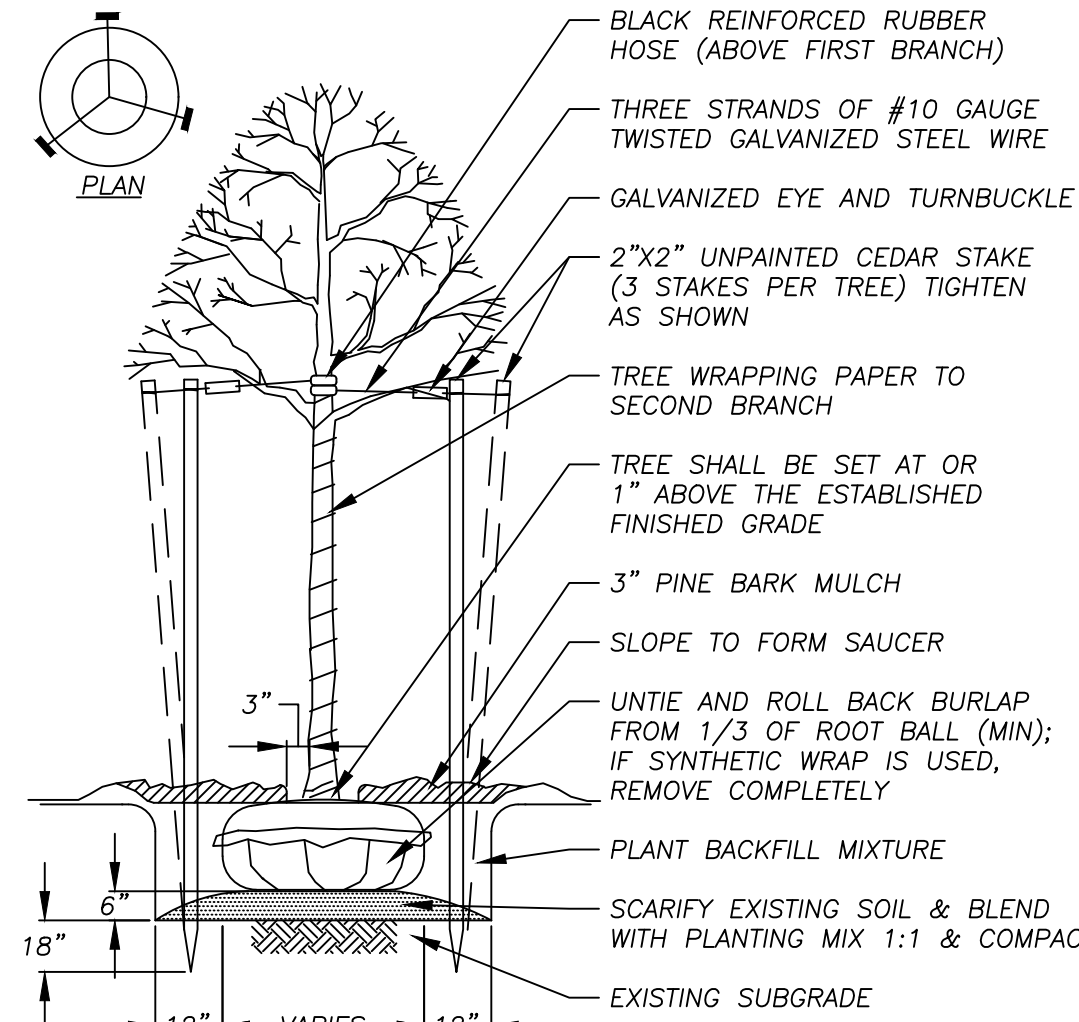
ANTI-TRACKING APRON (AS REQ'D)

NO SCALE



SHRUB PLANTING DETAIL

NO SCALE



TREE PLANTING DETAIL

NO SCALE

PERMITTING

RLA
R LEVESQUE ASSOCIATES INC.
Landscape Architects
Civil Engineers - Land Surveyors
Environmental Consultants
ph: 413.568.0985 fax: 413.568.0986
40 School Street
Westfield, MA 01085
rlaland.com

DETAILS
1014 North Street Extension
Parcel I.D. #D13 2 IO
Feeding Hills, Mass.

PREPARED FOR:
VIP Homes & Associates, LLC
c/o Mr. Vladimir Ruha
29 Avalon Place
Feeding Hills, MA 01030
ISSUANCE DATE: January 8, 2025
REVISIONS: DATE:
DRAFTED BY: J.L. & R.N.
UNAUTHORIZED ALTERATION OF THIS DOCUMENT IS A VIOLATION OF MASSACHUSETTS STATE LAW
SCALE: As Noted
RLA PROJ. NUMBER: 240713
DRAWING# REV.
W-2 -

December 4, 2023

Mr. Henry Kozloski, Chair
Town of Agawam Conservation Commission
750 Cooper Street
Agawam, MA 01001

Re: Notice of Intent – Single Family Home
1014 North Street Extension
Feeding Hills, Massachusetts 01030
(Map D13, Block 2, Parcel 10)
DEP File # 087-0684
Third Party Review-Supplemental Review

Dear Mr. Kozloski and Commissioners:

Per your request, Stockman Associates LLC performed a site inspection at 1014 North Street Extension in Feeding Hills, MA (Map D13, Block 2, Parcel 10) to review the revised Bordering Vegetated Wetland (BVW) boundary delineation performed by Michael Mocko Environmental Consultant for the Notice of Intent (NOI) submitted on behalf of their client, VIP Homes & Associates LLC, for the proposed construction of a single-family home with a Bordering Vegetated Wetland driveway crossing. At the time of the site inspection an updated surveyed site plan depicting the revised delineation had not been prepared and submitted. Updated BVW Delineation Forms were submitted by Michael Mocko Environmental on September 30, 2023 and were reviewed prior to and during the site inspection.

Materials Reviewed

- BVW Delineation Forms 14A, 14B, 15A, 15B, 17A, 17B, 104A and 104B prepared by Michael Mocko Environmental Consultant

Site Visit

Stockman Associates LLC performed a site visit on October 27, 2023. The site inspection was made at the request of Michael Mocko and with authorization from the Agawam Conservation Commission.

Review Findings

- 1) At the time of the site visit the revised delineation flags were present and labels were legible. At this time, Stockman Associates LLC does not concur with the revised wetland boundary flagging reviewed in the field.
 - a. A dominant wetland plant community, wetland hydrology and a hydric soil profile were observed proximal to flagged upland data plot 14A. A water table 7-inches below the soil surface was observed. The plant community was comprised of Royal Fern (*Osmunda spectabilis*, OBL), Cinnamon Fern (*Osmundastrum cinnamomeum*, FACW), and Highbush Blueberry (*Vaccinium corymbosum*,

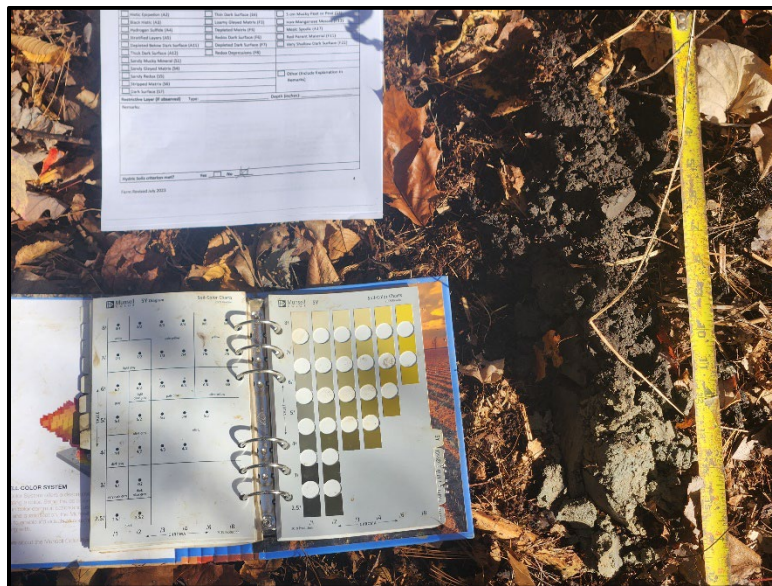
FACW). The documented soil profile meets the criteria for Hydric Soil indicator A2 Histic Epipedon and A12 Thick Dark Surface.

Horizon	Depth (in)	Matrix		Redox Features				Texture
		Color (moist)	%	Color (Moist)	%	Type	Loc	
Oa	0-12	2.5Y 2.5/1	100					
A	12-18	2.5Y 2.5/1	100					FSL, mucky
Bg	18-24+	2.5Y 4/2	90	7.5YR	10	C	M	LS



- b. A dominant wetland plant community, wetland hydrology and a hydric soil profile were observed proximal to flagged upland data plot 104A. Soil saturation 6-inches below the soil surface and a water table 10-inches below the soil surface were observed. The plant community was comprised of Royal Fern (*Osmunda spectabilis*, OBL) and Cinnamon Fern (*Osmundastrum cinnamomeum*, FACW). The documented soil profile meets the criteria for Hydric Soil indicator A11 Depleted Below Dark Surface.

		Matrix		Redox Features				
Horizon	Depth (in)	Color (moist)	%	Color (Moist)	%	Type	Loc	Texture
A	0-11	2.5Y 2.5/1	100					FSL, mucky
Bg	11-17+	5Y 5/1	90	10YR 5/4	10	C	M	FSL



- c. A dominant wetland plant community, wetland hydrology, and a hydric soil profile were observed proximal to flag 101B. Blackened leaves, saturated soil surface, and a water table 1-inch below the soil surface were observed. The plant community was comprised of elevated White Pine (*Pinus strobus*), American Elm (*Ulmus americana*, FACW), Royal Fern (*Osmunda spectabilis*, OBL), Cinnamon Fern (*Osmundastrum cinnamomeum*, FACW), and Red Maple (*Acer rubrum*, FAC). The documented soil profile meets the criteria for Hydric Soil indicator A2 Histic Epipedon and A11 Depleted Below Dark Surface.

Matrix		Redox Features			
Horizon	Depth (in)	Color (moist)	%	Horizon	Texture
Oa	0-9	2.5Y 2.5/1	100		
Bg	9-18+	5Y 5/1	100		LS



- d. The dominant wetland plant community associated with a channel along the southwesterly property line has not been delineated.
- e. The historically excavated channel extending from the depicted wetland proximal to flags W7-W8 northwesterly to the depicted wetland proximal to flag W13 has not been delineated in the field. Hydric soil and inundation were observed within the channel. The excavated channel appears to meet the criteria for a disturbed BVW under 310 CMR 10.55(2)(c)3. The mapped soil series is the Ridgebury fine sandy loam, which is listed as a hydric soil. An examination of historic aerial images indicates a network of distinct linear features displaying wetland signatures in 1980, after the enactment of the Massachusetts Wetlands Protect Act (1972).



- f. Additional shallow channels were observed within the forested landscape where construction of the house is proposed. As indicated in the NOI narrative, these channels appear to be associated with historic attempts to drain the area. Areas within and proximal to the shallow channels contained wetland indicator plant species and should be revisited.
- 2) Reviewed vegetation data submitted on the BVW Determination Forms excludes completed prevalence indices and appears to utilize an older version of the U.S. Army Corps of Engineers, Northcentral and Northeast Region, National Wetland Plant List. The Massachusetts Handbook for Delineation of Bordering Vegetated Wetlands has been revised (Second Edition, September 2022) and should be utilized for establishing and documenting BVW boundaries.
- 3) The proposed work depicted on the NOI site plan is located within areas that require additional BVW assessment and boundary review. At this time, a detailed review of proposed construction is pending further adjustments to the BVW boundaries by the applicants representative and a revised site plan.

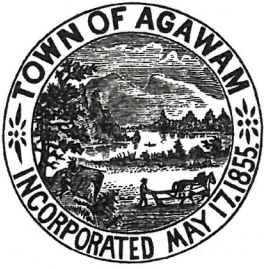
I trust that the above comments will assist the Commission in their review of the previously referenced NOI submittal. Please do not hesitate to contact me with any questions.

Sincerely,



Emily Stockman, M.S., P.W.S.
Senior Scientist/Principal
Stockman Associates LLC





TOWN OF AGAWAM

Department of Public Works

1000 Suffield Street • Agawam, MA 01001

Tel (413) 821 0600 • Fax (413) 821 0631

Mario Mazza • Superintendent

MEMORANDUM

To: Conservation Commission
CC: Anderson Associates, File
From: Engineering Division
Date: October 27, 2022
Subject: Notice of Intent – 1014 North Street Extension – CC 380

Per your request, we have reviewed the Notice of Intent and Conservation & Site Plan, dated September 12, 2022, prepared by Anderson Associates for the proposed single-family home to be located at 1014 North Street Extension, Agawam, MA. Based on our review, we have the following comments:

SITE PLANS

1. If site plans are hand drawn rather than drafted within AutoCAD, they must be presented as clear and legible. The site plan submitted with the NOI is difficult to read properly.
2. All details included on the submitted plans shall be Agawam Town Standard Details which can be downloaded from the Town website at <https://www.agawam.ma.us/270/Engineering-Standards-Details>. Any details required for the project which are not included in the Agawam Town Standard Details shall be drafted in AutoCAD by the Engineer.
3. The Construction Sequence notes and Fine Processed Aggregate Specifications included on the site plan are difficult to read. All notes and tables to be included on the site plan shall be scanned from an image that is clearly legible or clearly drafted.
4. A spot grade shall be added to indicate the top of the proposed retaining wall.
5. The existing grading is in 1-Foot intervals and the proposed grading is in 2-Foot intervals. The intervals of both existing and proposed contours lines should be consistent.
6. The site plans show a 20' easement partially located on the project site. Please indicate what kind of easement this is. The Town is unable to find a record of this easement on our existing plans.
7. Proposed utility connections and inverts must be shown on the site plan.

CONSERVATION COMMISSION

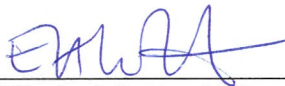
8. Engineering is concerned that the wetlands soils present on the project site are not structurally sufficient to support the proposed structures. Engineering recommends test pit be performed to verify the soils onsite and seasonal high ground water table.
9. Indicate the limits of the 100 FT Buffer Zone from the Bordering Vegetated Wetlands on the site plan.
10. Stormwater calculations will need to be submitted to Engineering for the two proposed driveway culverts to verify they have been appropriately sized and that the wetlands on the eastern side of the proposed driveway will not surcharge.
11. The site plan indicates that a significant amount of tree clearing will be required for the wetland replication area, in addition to the clearing that is proposed for the single-family dwelling. This means that a section of wooded area will be cleared in order to re-plant with area with trees, which does not make sense. Engineering suggests the Developer consider utilizing the northern area of the project site, where the

stockpiles are located, for the wetland replication. This area will already be cleared and the stockpiles are temporary and can be removed after construction is completed. This will allow the Developer to replicate wetland area within the flagged wetlands and minimize clearing on the property.

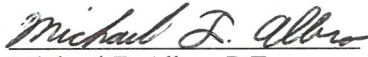
12. Based on the grading for the proposed driveway, additional proposed grading must be shown on the site plans. The existing 254 and 255 contour lines no longer accurately portray the grading within the driveway area. Additional clearing may be required along the driveway in order to properly tie in proposed and existing contour line while maintaining a maximum slope of 3:1.
13. The site plan should indicate the direction in which roof drains will discharge.

Engineering reserves the right to make additional comments as new information is submitted. If you have any questions, please do not hesitate to contact this division.

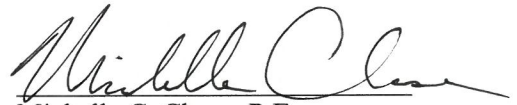
Sincerely,



Elizabeth Lotter, M.S.
Civil Engineer I



Michael F. Albro, P.E.
Assistant Town Engineer



Michelle C. Chase, P.E.
Town Engineer

AGAWAM CONSERVATION COMMISSION
July 10, 2025

MEMBERS PRESENT:

Jill Ward, Acting Chair
S Page Fallon (6:06pm)
Magda Galiatsos
Sheryl Becker
Keven Brown

MEMBERS ABSENT:

Henry Kozloski
Frank Meagher

ALSO PRESENT:

Taryn Egerton
Stefanie Kesecker

Ms. Ward called the meeting to order at 6:00pm.

1. Request for Certificate of Compliance-151 Nicole Terrace (Lot 14)-Reed

Filipe Cravo, R. Levesque Associates was present for this agenda item. No work has begun on this lot, but they will be proposing a single family home. He stated the Commission had performed an onsite, along with Ryan Nelson from R. Levesque Associates. Ms. Becker stated there is an intermittent stream and a pile which will be flattened and it doesn't appear it will cause any damage. Mr. Cravo stated it is a single family home. He stated there is a culvert and a pipe under Southwick, it has a headwall that discharges to the stream behind the other lots.

Ms. Ward asked if that was the only resource on the area. Mr. Cravo stated yes.

Motion was made by Mr. Brown and seconded by Ms. Galiatsos to issue a partial Certificate of Compliance for lot 14-151 Nicole Terrace.

VOTE 4-0-0

2. REQUEST FOR DETERMINATION CONT.-151 Nicole Terrace-Reed

Filipe Cravo, R. Levesque Associates was present for this agenda item. He stated the only work in the buffer zone is surface grading of the rear yard. Commission members went onsite with R. Levesque Associates to look at the site.

Motion was made by Ms. Galiatsos and seconded by Ms. Becker to issue a Negative Determination-151 Nicole Terrace-Reed, conditional upon the Commission receiving confirmation and pictures when erosion controls are in place.

VOTE 4-0-0

3. REQUEST FOR DETERMINATION CONT.-515 & 533 Mill Street-Dikan & Ashlaban

Filipe Cravo, R Levesque Associates was present for this agenda item. He stated the consultant needs to complete the peer review and he requested to continue this agenda item to the July 24, 2025 meeting.

Motion was made by Mr. Brown and seconded by Mr. Fallon to continue the REQUEST FOR DETERMINATION-515 & 533 Mill Street-Dikan & Ashlaban to the July 24, 2025 meeting, as requested.

VOTE 5-0-0

4. REQUEST FOR DETERMINATION-223 Garden Street-MBNZ Holding Co

Filipe Cravo, R. Levesque Associates was present for this agenda item. He stated this is an addition to Vermette Auto. He stated there is an offsite wetland and perennial stream to the north east portion of the site. He stated since the last meeting all the outstanding Engineering comments have been satisfactorily addressed. He stated the property will be getting a new storm water system. They now have included ADA compliant parking.

Motion was made by Ms. Galiatsos and seconded by Ms. Becker to issue a Negative Determination for 223 Garden Street-MBNZ Holding Co.

VOTE 5-0-0

5. PUBLIC HEARING CONT.-NOTICE OF INTENT-1014 North St Ext-VIP Homes & Associates, LLC.

The Commission received a request to continue this this agenda item to the July 24, 2025 meeting.

Motion was made by Mr. Brown and seconded by Ms. Becker to continue the PUBLIC HEARING CONT.-NOTICE OF INTENT-1014 North St Ext-VIP Homes & Associates, LLC, to the July 24, as requested.

VOTE 5-0-0

6. ENFORCEMENT ORDER UPDATES

351 Main Street-The Army Corp is not requiring a filing. The representative would like to set up a site visit with the Commission, prior to filing the NOI.

Nicole Terrace Subdivision-Mr. Fallon stated the plantings are in. He located 1 monument in the area, but could not see all the required monuments.

7. APPROVAL OF MINUTES-June 26, 2025 & July 1, 2025

Motion was made by Ms. Becker and seconded by Ms. Galiatsos to approve the June 26, 2025 minutes, as written.

VOTE 4-0-1(Brown)

Motion was made by Ms. Ward and seconded by Mr. Fallon to table the July 1, 2025 minutes.

VOTE 2-0-0

8. Correspondence & Complaints

The Commission received a complaint of raking and spray painting on the maintained Town property on River Road. The complainant was advised that this is not a jurisdictional activity.

Several large trees were taken down in Riverfront area on rear Main St (Parcel J2 1 1). A letter will be sent to the property owner to contact the Commission for a site visit.

29 Yale Ave-the Commission sent a letter a month ago for dumping in the stream. The property owner called. He is requesting a site visit so the Commission can show him the area of concern.

Motion was made by Ms. Becker and seconded by Mr. Brown to adjourn the meeting.

VOTE 5-0-0

Meeting adjourned at 6:30pm.

AGAWAM CONSERVATION COMMISSION
July 24, 2025

MEMBERS PRESENT:

Henry Kozloski, Chair
Magda Galiatsos
Sheryl Becker
Keven Brown

MEMBERS ABSENT:

Page Fallon
Frank Meagher

ALSO PRESENT:

Taryn Egerton
Stefanie Kesecker

Mr. Kozloski called the meeting to order at 6:00pm.

1. REQUEST FOR DETERMINATION CONT.-515 & 533 Mill Street-Dikan & Ashlaban

Cole Modestow with R. Levesque Associates and Emily Stockman with Stockman Associates LLC., were present for this agenda item. Mr. Modestow stated the site visit was performed and the peer review has been completed to confirm the findings on the wetland delineation.

Ms. Stockman stated the bordering vegetated wetland located in the southeast corner of 515 Mill Street was clearly marked and has very distinct change in topography and lots of skunk cabbage. She stated there are additional flags on the site plan that are faded out and are off the subject property. She stated the Commission should specify they are agreeing with the boundaries for flags A112 to A115. She stated she concurs with the 100 ft. buffer zone associated with this wetland. She stated there may be additional buffer zones on a neighbor's property. She stated the stream is not perennial and could be deemed intermittent.

Motion was made by Mr. Brown and seconded by Ms. Galiatsos to issue a Positive Determination-515 & 533 Mill Street-Dikan & Ashlaban confirming the boundary flags of wetland A112-A115, and its's 100 ft. buffer zone, determining that the stream is intermittent, and that the area is within Conservation Commission jurisdiction.

VOTE 4-0-0

2. PUBLIC HEARING CONT.-NOTICE OF INTENT-1014 North St Ext-VIP Homes & Associates, LLC.

The Conservation Commission received a request to continue this agenda item to the August 14, 2025 meeting.

Motion was made by Ms. Becker and seconded by Ms. Galiatsos to continue the PUBLIC HEARING NOTICE OF INTENT-1014 North St Ext-VIP Homes & Associates, LLC. to the August 14, 2025 meeting, as requested.

VOTE 4-0-0

3. Request for Certificate of Compliance-8 Alexander Drive

Mr. Kozloski stated a site visit had been performed.

Motion was made by Ms. Galiatsos and seconded by Mr. Brown to issue a Certificate of Compliance for 8 Alexander Drive.

VOTE 4-0-0

4. ENFORCEMENT ORDER UPDATES

The Committee will schedule site visits for 351 Main Street.

5. APPROVAL OF MINUTES-July 1, 2025 and July 10, 2025

Motion was made by Mr. Brown and seconded by Ms. Galiatsos to table the APPROVAL OF MINUTES for July 1, 2025 & July 10, 2025.

VOTE 4-0-0

6. Correspondence & Complaints

The owner of a parcel off Main St. called regarding a pervious complaint of tree cutting. He is agreeable to setting up a site visit to determine how the complaint will be resolved.

The Commission also received a call about 2 trees that need to be removed. The tree warden will look at the trees and advise if an Emergency Order is needed.

Mr. Kozloski stated the fountain at Stillbrook Park is working, but is powered by solar and if the day is shady the lights may not be on or not as bright. He stated the ponds are also being aerated in two places. Mr. Kozloski stated they Commission may need to look to make sure erosion is not getting into the pond.

Motion was made by Ms. Becker and seconded by Ms. Galiatsos to adjourn the meeting.

VOTE 4-0-0

Meeting adjourned at 6:30pm.

AGAWAM CONSERVATION COMMISSION
August 14, 2025

MEMBERS PRESENT:

Henry Kozloski, Chair
Page Fallon
Sheryl Becker
Frank Meagher (participating remotely)

MEMBERS ABSENT:

Jill Ward
Keven Brown
Magda Galiatsos

ALSO PRESENT:

Taryn Egerton

Mr. Kozloski called the meeting to order at 6:00pm.

1. 6:00PM REQUEST FOR DETERMINATION-1120 River Road-Bowdren

Bill Bowdren, 1120 River Road was present for this agenda item. He stated they are proposing a 6x12 deck off an enclosed porch and a 3x12 deck on two different levels. Both are free standing.

Motion was made by Ms. Becker and seconded by Mr. Fallon to issue a Negative Determination for 1120 River Road-Bowdren.

ROLL CALL VOTE
4-0-0

2. 6:05PM REQUEST FOR DETERMINATION-Old River Street, 27 Walnut Street, & 17 High Street-Calabrese Construction, LLC.

Cole Modestow with R. Levesque Associates was present for this agenda item. He stated they have delineated the median high water line. He stated they have located 2 isolated wetlands with no hydraulic connection. He stated the Commission had performed a site visit. Mr. Fallon stated there is a steep bank that goes down to the river. He stated the proposed area of construction is entirely above this line. He stated given the plans presented there should be no work performed in a resource area.

Motion was made by Mr. Fallon and seconded by Ms. Becker to issue a Positive Determination confirming the resource area boundaries shown on the Plan dated July 18, 2025 and that the area is within Conservation Commission jurisdiction.

ROLL CALL VOTE

4-0-0

3. 6:10PM REQUEST FOR DETERMINATION-Moore & Valley Streets-Town of Agawam

Mark McClusky with Pare Corporation was present for this agenda item. He stated this proposed project is for infrastructure improvements from Moore Street, starting at High Street and down to the north end of Moore Street and the additional component improvements on Valley Street east. The sanitary sewer will be improved with PVC pipe, and existing man holes made of brick will now be precast concrete. He went on to say the proposed improvements will reduce the impervious area to the riverfront by 82 sq. ft. of impervious area.

Mr. Koslozki asked Mr. McClusky to point out the riverfront.

Mr. McClusky stated the project should go to bid in March and begin next season.

Mr. Kozloski stated he is concerned with the area where the pipe is and if it will be improved in the plans. Mr. McClusky stated it can be improved.

Mr. Fallon was onsite at the location and stated the road is gravel pavement. The project boundaries are an improvement. The limit of work appears to be inside the existing boundaries of the roadway. The turnaround at the end of the road to the east will be changed into a rectangular shape. Mr. Fallon stated there are two trenches side by side, one for water and one for the sewer. He stated the Commission's concern is that area could receive a tremendous amount of water from uphill. He stated the erosion control designs need to be created to handle this as effectively as possible, so there is not a wash-out.

Mr. McClusky stated there will be a sediment fence, plus wattles. He stated they could use silt socks and straw bales.

Mr. McClusky stated there will be new deep sump catch basin near the headwall, and changes to the existing catch basin to a drain manhole.

Mr. Kozloski stated a small part of the road is being replaced with a catch basin. Mr. Kozloski stated he would recommend a silt sock 8", staked every 4 ft. Engineering will be working with the company and will supply Conservation will pictures and any changes on site.

Mr. Fallon stated the trenches will need to be back filled and compacted overnight. Mr. McClusky stated construction trenches are only open during the day and filled at night. Mr. Fallon asked what happens to the drainage. Mr. McClusky stated there is a catch basin that will be removed and recast. He stated the runoff will continue on its path and then discharge to the culvert.

Motion was made by Mr. Fallon and seconded by Mr. Meagher to issue a Negative Determination-Moore & Valley Streets-Town of Agawam with the following conditions:

1. Prior to the start of any work, the applicant shall contact the Commission to arrange a meeting between the Commission and Construction company.
2. The applicant shall use 12" silt socks on the corner of Moore & Valley Street and 8" Silt socks for the remainder of the project site, staked every four feet. Once installed the contact the Commission so an inspection may be made.

3. The Town Engineering Department will supply the Commission with weekly photographs during construction.
4. The Commission shall be notified immediately of any plan changes or resource area impacts.

ROLL CALL VOTE
VOTE 4-0-0

4. PUBLIC HEARING CONT.-NOTICE OF INTENT-1014 North St Ext-VIP Homes & Associates, LLC

The Conservation Commission received a request to continue this agenda item to the August 28, 2025 meeting.

Motion was made by Mr. Fallon and seconded by Ms. Becker to continue the PUBLIC HEARING CONT.-NOTICE OF INTENT-1014 North St Ext-VIP Homes & Associates, LLC to the August 28, 2025 meeting.

ROLL CALL VOTE
VOTE 4-0-0

Motion was made by Mr. Fallon and seconded by Ms. Becker to send a letter to the applicant stating any further continuances may not be granted past September 11, 2025 meeting, and that the applicant must have submitted final plans, received approval from Engineering and approval from the peer review.

ROLL CALL VOTE
VOTE 4-0-0

5. Request to Extend Order of Conditions-184 River Road-Kanegsberg

Mr. Kanegsberg, 184 River Road was present for this agenda item.

Motion was made by Ms. Becker and seconded by Mr. Meagher to extend the Order of Conditions for 184 River Road-Kanegsberg for 1 year, to August 25, 2026.

ROLL CALL VOTE
VOTE 4-0-0

6. Request for Certificate of Compliance-1443 Main Street

Mr. Kozloski did an onsite and everything is in order.

Motion was by Mr. Fallon and seconded by Ms. Becker to issue the Certificate of Compliance-1443 Main Street.

ROLL CALL VOTE
VOTE 4-0-0

7. Request for Certificate of Compliance-99 Elizabeth Street

Motion was made by Mr. Fallon and seconded by Ms. Becker to issue a Certificate of Compliance-99 Elizabeth Street, contingent upon the site visit August 15, 2025.

ROLL CALL VOTE
VOTE 4-0-0

8. Ratify Emergency Order-Robinson State Park near 56 Thalia Drive property line

Ms. Egerton stated the work (tree cutting) has already been performed.

Motion was made by Mr. Fallon and seconded by Mr. Meagher to ratify the Emergency Order-Robinson State Park near 56 Thalia Drive property line.

ROLL CALL VOTE
VOTE 4-0-0

9. ENFORCEMENT ORDER UPDATES

10. APPROVAL OF MINUTES-July 1, 2025, July 10, 2025 & July 24, 2025.

Motion was made by Ms. Becker and seconded by Mr. Fallon to approve the July 1, 2025 minutes.

ROLL CALL VOTE
VOTE 3-0-1(Becker)

11. Correspondence and Complaints

The Commission received a complaint of tree cutting at the Tobacco Farm, possibly in buffer zone or riverfront area, about 10 trees. Mr. Kozloski asked if there was a way to do a site visit. Ms. Egerton stated the area is difficult to access. The Commission received pictures of the felled trees. Mr. Fallon volunteered to go onsite.

29 Yale Ave- Commission received a complaint of dumping. An onsite was performed and there were not violations witnessed.

12 Moore Street-Michael Santanello-stated he is seeking a Special Permit through ZBA for chickens. He states at 61 Valley Street there is a wetland, but not on his property. Mr. Kozloski stated that the ordinance states 200 ft. from any surface water, so it is prohibited.

Ms. Egerton stated the Commission's role is to give their information to the Zoning Board of Appeals and they are the ones to approve or deny the permit based on the ordinance.

The Commission received a complaint from MassDEP regarding a property on Barry Street. The Commission went onsite to view the violation and determined the violation may be on abutting property. A letter will be sent.

Motion was made by Mr. Fallon and seconded by Ms. Becker to adjourn the meeting.

ROLL CALL VOTE
VOTE 4-0-0

Meeting adjourned at 7:00pm.