



Planning Board AGENDA

Wednesday, July 2, 2025 - 6:00 PM

Regular Meeting
Agawam Senior Center
954 Main Street
Agawam, MA 01001

A. Planning Board

- 1) SITE PLAN-404 Silver Street-Silver Street Energy Storage, LLC c/o New Leaf Energy
- 2) SITE PLAN-223 Garden Street-MBNZ Holding Co
- 3) APPROVAL OF MINUTES-June 5, 2025
- 4) Correspondences

Silver Street Energy Storage

Agawam, MA
June 5, 2025



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Timeline of Relevant Recent Events



New Leaf Energy

New Leaf Energy

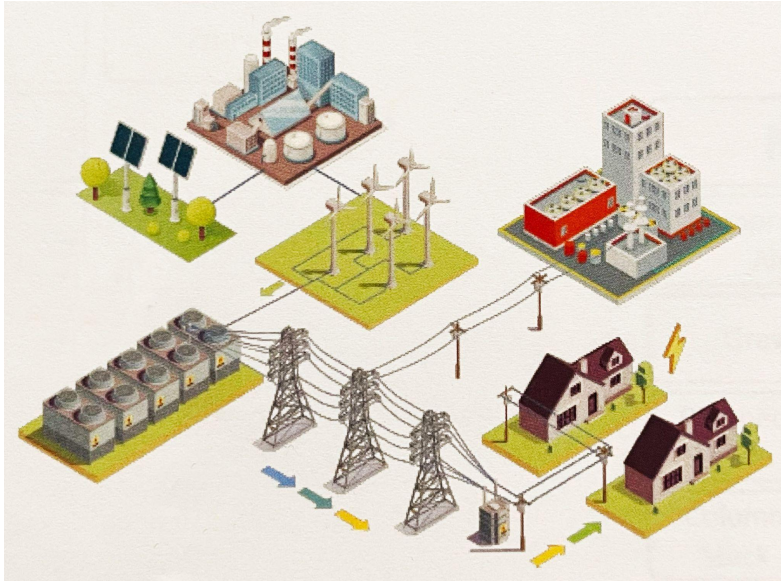
- Founded as Borrego Solar, spun off as New Leaf Energy in 2022
- 200 employees located in five regional offices
 - Lowell, MA (HQ)
 - Boston, MA
 - Chicago, IL
 - Troy, NY
 - Oakland, CA
- Focused on the organization and development of community and utility scale renewable energy projects
- Lead Developer of Community Scale Projects over the last decade (as measured by Wood MacKenzie)
 - #1 developer in MA in terms of MWs built



+1GW Of Solar Generation + Battery Energy Storage Developed

About Battery Energy Storage (BESS)

Batteries are an excellent way to store energy. They help reduce the risk of outages.



We can pull energy from batteries to meet times of high energy demand and reduce strain on the local energy infrastructure.

Energy supply and demand don't always match up. Batteries help even out this fluctuation by providing consistent and stable electricity for homes and businesses while enabling a cleaner electricity grid.

Where does the energy go?

1. A battery storage facility will connect to the grid adjacent to existing electrical grid infrastructure.
2. The batteries are charged by the electrical grid.
3. When energy is needed, batteries discharge their stored energy back onto the grid to be used by homes, businesses, and industries; allowing grid operators to avoid calling on the dirtiest fossil fuel resources for additional generation needed to meet demand.

Aerial Map

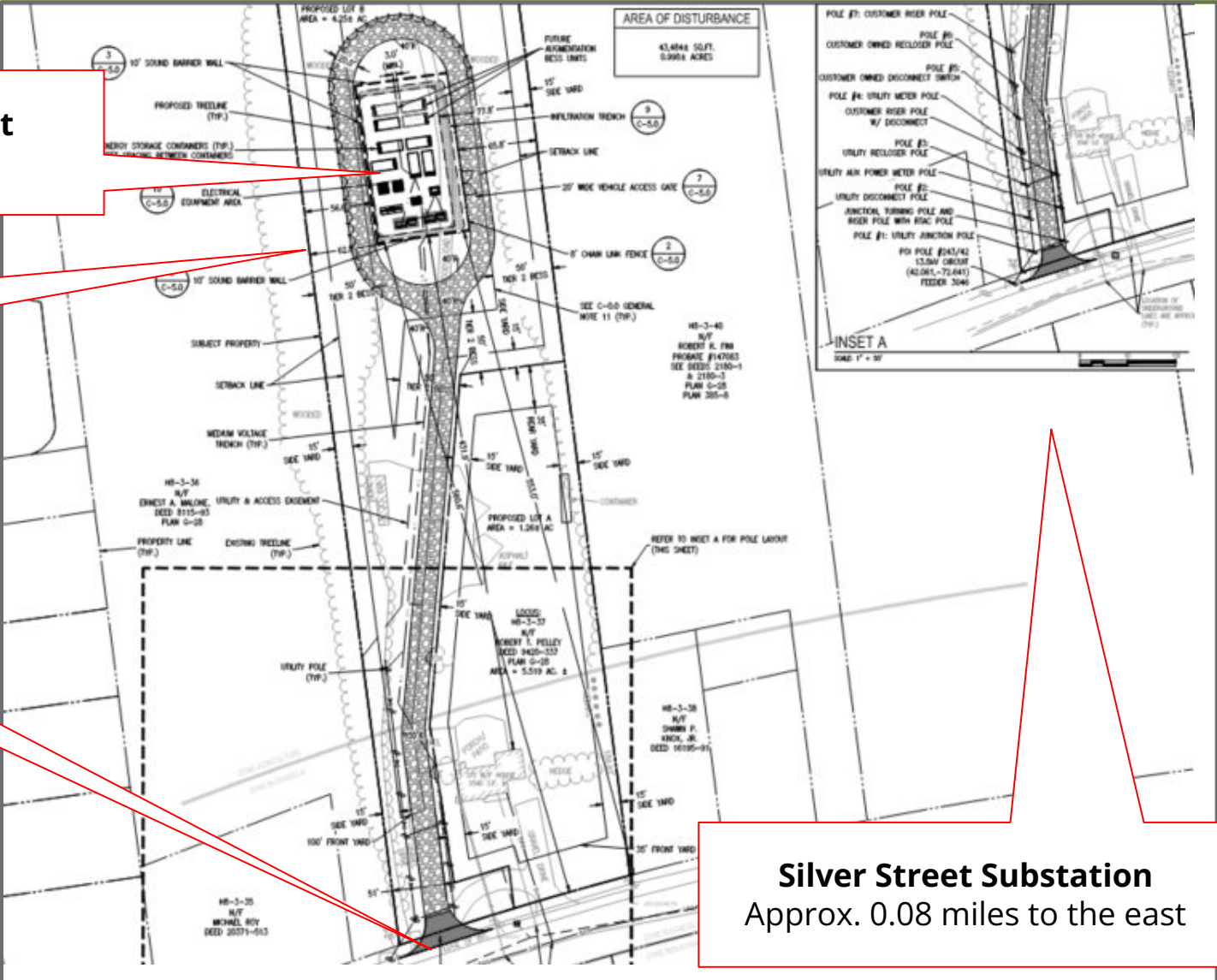


Project Overview

BESS Project Footprint
Approx. 0.5 acres

Ample natural
screening from
public view

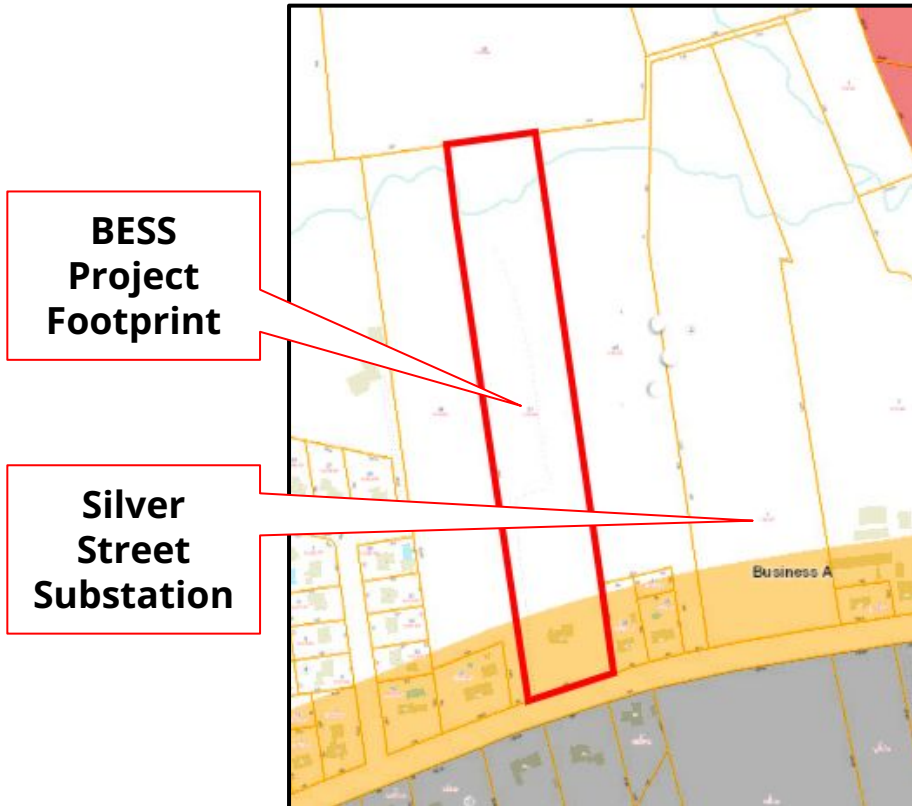
Point of
Interconnection
(POI)



Silver Street Substation
Approx. 0.08 miles to the east



Permitting / Entitlement



Zoning:

- Split Zoning
 - Business A in the front
 - Agriculture in the back
 - Industrial across the street
- Existing MA legal precedent for BESS development

BESS Ordinance:

- Tier 2 Battery Energy Storage Systems have an aggregate energy capacity greater than 500 KWh and less than or equal to 50 MWh
 - Distribution Generation scale project
- Tier 2 Battery Energy Storage Systems are allowed by right in the Agricultural zone subject to applicable provisions of the State Building Code, the State Electrical Code, the State Fire Code, and other applicable codes, and subject to site plan review as outlined in §180-13 of the Code of the Town of Agawam and such provisions of this Article as are applicable.

CONTACT US

Where to Find Us.

1 (888) 898-6273



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Our Office Locations

CORPORATE HEADQUARTERS

New Leaf Energy, Inc.

55 Technology Drive, Suite 102 • Lowell, MA 01851



Eric Weinstein
Project Developer, New England

(508) 654-8260
eweinstein@newleafenergy.com

Reference Material



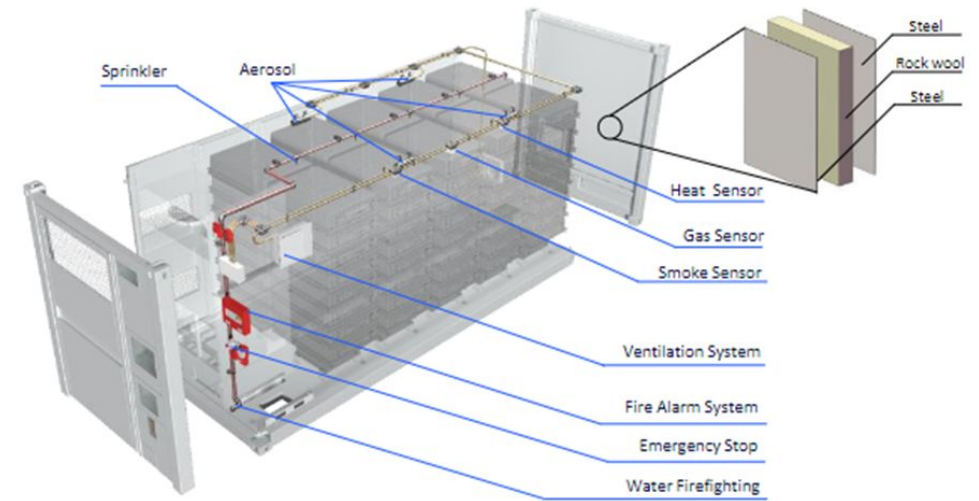
BESS Operations

— BESS Fire Safety

- Hithium's fire protection system is designed following the NFPA855 installation standard for stationary energy storage
- Berrty cells and modules are tested and certified to UL9540 and UL9540A standards

— BESS Fire Safety Training

- New Leaf will provide specific training for local first responders
- By ESS OEM
- During construction or commissioning to see site and final equipment locations

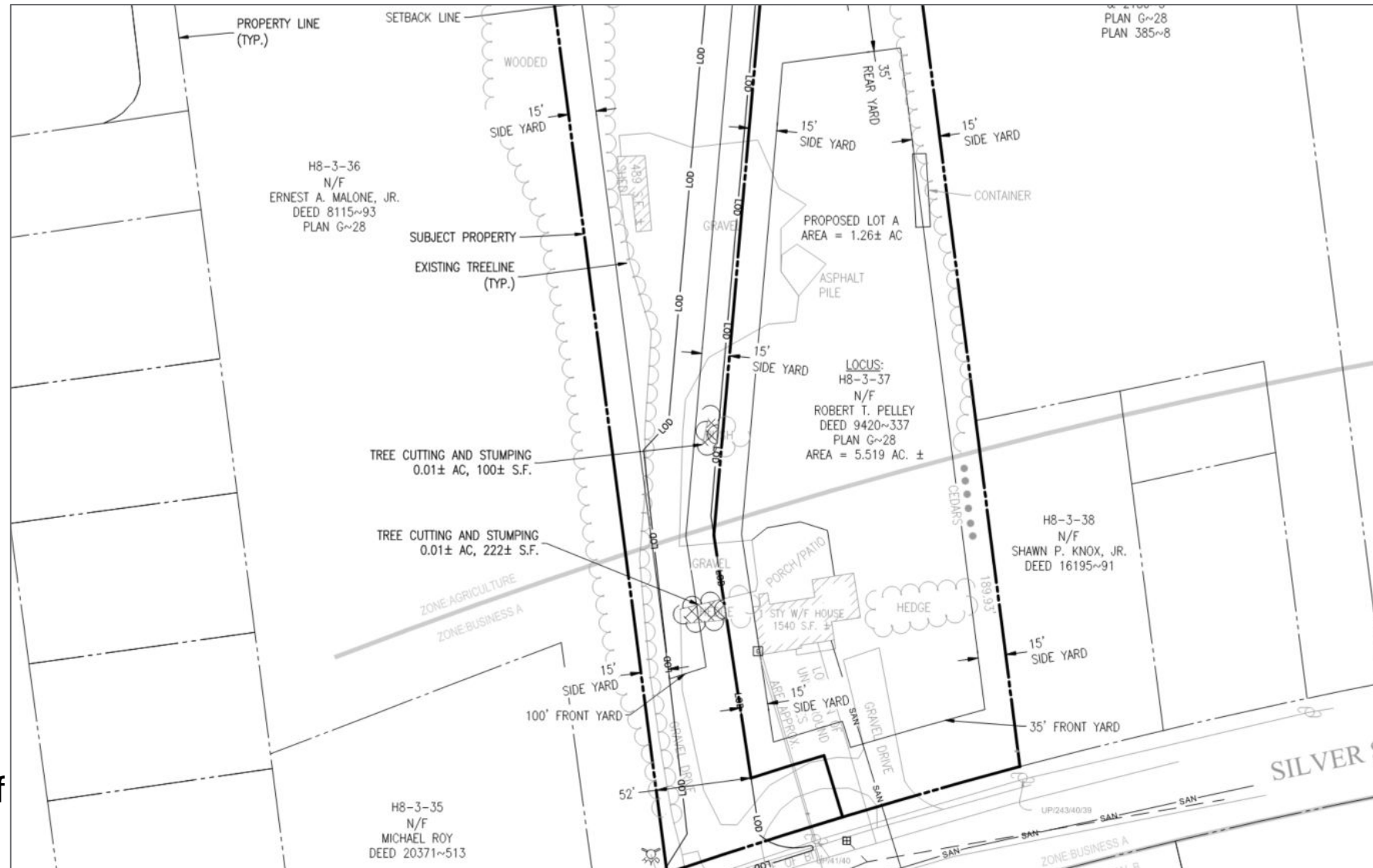


Levels of Integrated Fire Safety

01	Thermal Management System	• Keeps ambient temperature stable • Ensures battery modules are operating within specified environmental conditions
02	Battery Management System	• Constantly monitors thousands of operational parameters • Ensures that each cell remains within operational thresholds (voltage, current, temperature, etc)
03	Fire Suppression Agent	• A gaseous clean agent (NOVEC, Stat-X or other) is released to ensure any incipient event is mitigated at its source
04	Modular Isolation	• Any event, including non thermal events like gas-detection, triggers the isolation of the battery module in question to prevent propagation



Proposed Subdivision Plan



Site Photos



Site Photos



Site Photos



Taryn Egerton

From: Derek Myers
Sent: Thursday, June 5, 2025 4:07 PM
To: Taryn Egerton
Subject: RE: 404 Silver Street - Site Plan Review

Taryn,

A of June 5th 2025 the Agawam Fire Department is still reviewing the site plan and doing an internal code review for the BESS project at 404 Silver St. The document package is over 450 pages of information. I hope to have it all set by midweek next week.

If you have any question please feel free to contact this office at (413)786-0657

Derek Myers
Fire Inspector
Agawam Fire Department
afdinsp@agawam.ma.us
(413)786-0657

From: Taryn Egerton <TEgerton@agawam.ma.us>
Sent: Thursday, May 22, 2025 10:14 AM
To: All_Engineering Department <All_Eng_Dept@agawam.ma.us>; Derek Myers <afdinsp@agawam.ma.us>; Brian Machos <BMachos@agawam.ma.us>; Kevin Duquette <inspections@agawam.ma.us>
Cc: Stefanie Kesecker <SKesecker@agawam.ma.us>
Subject: RE: 404 Silver Street - Site Plan Review

Good morning,

I just spoke with the applicant regarding this project. They are hoping to receive comments sometime next week if possible so they can respond/revise plans if needed prior to the June 5th meeting.

As a reminder **the application is too large to send via email so I added it to the global drive under Planning Department and file name "404 Silver Street Site Plan BESS."**

Thank you

Taryn Egerton
Planning Director & Conservation Agent
Office of Planning and Community Development

413.726.9737 | tegerton@agawam.ma.us



TOWN OF
Agawam
MASSACHUSETTS



Town of Agawam

Department Of Public Works

DPW
1000 Suffield Street
Agawam, MA 01001
Phone: 413-821-0600
Fax: 413-821-0631

MEMORANDUM

To: Planning Board
CC: File
From: Engineering Division
Date: June 11, 2025
Subject: SP 667 – Proposed Battery Energy Storage System – #404 Silver Street

Per your request, we have reviewed the revised Site Plans for the Proposed Battery Energy Storage System to be located at #404 Silver Street; Prepared by Weston & Sampson; Dated June 4, 2025. Based on our review, Engineering considers all comments from our memo dated May 27, 2025 to have been sufficiently addressed. However, if the area of disturbance should increase above one (1) acre during construction, the Owner will be required to submit a Stormwater Permit Application to the Town of Agawam.

Engineering reserves the right to make additional comments as new information is submitted. If you have any questions, please do not hesitate to contact this division.

Sincerely,

Michelle C. Chase, P.E.
Town Engineer

Michael F. Albro, P.E.
Assistant Town Engineer

Taryn Egerton

From: Taryn Egerton
Sent: Friday, June 13, 2025 11:52 AM
To: Costello, Melinda; Eric Weinstein
Subject: FW: 404 Silver Street - Site Plan Review

From: Derek Myers <afdinsp@agawam.ma.us>
Sent: Friday, June 13, 2025 11:51 AM
To: Taryn Egerton <TEgerton@agawam.ma.us>
Subject: RE: 404 Silver Street - Site Plan Review

Taryn,

The Chief and I reviewed the response from the engineers for our concerns. We feel that this project meets code requirements based on the response submitted. The Chief would like me to add that he wishes that the container layout separations were farther apart for firefighting operations.

-Derek

From: Taryn Egerton <TEgerton@agawam.ma.us>
Sent: Wednesday, June 11, 2025 3:06 PM
To: Derek Myers <afdinsp@agawam.ma.us>
Subject: FW: 404 Silver Street - Site Plan Review

Hi Derek –
See attached and responses below.

Thanks

Taryn Egerton
Planning Director & Conservation Agent
Office of Planning and Community Development

413.726.9737 | tegerton@agawam.ma.us



TOWN OF
Agawam
MASSACHUSETTS

From: Costello, Melinda <Costello.Melinda@wseinc.com>
Sent: Wednesday, June 11, 2025 2:42 PM
To: Taryn Egerton <TEgerton@agawam.ma.us>; Eric Weinstein <eweinstein@newleafenergy.com>
Cc: William Peregoy <wperegoy@newleafenergy.com>
Subject: RE: 404 Silver Street - Site Plan Review

Hi Taryn,

June 4, 2025

55 Walkers Brook Drive, Suite 100, Reading, MA 01867
Tel: 978.532.1900

Taryn Egerton
Planning Director and Conservation Agent
Office of Planning and Community Development
Town of Agawam, Massachusetts
36 Main Street
Agawam, MA 01001

**Re: Battery Energy Storage System (BESS), 404 Silver Street, Agawam MA
Response to Comments – Site Plan Review Application**

Dear Ms. Egerton:

Weston & Sampson Engineers, Inc. (Weston & Sampson), on behalf of Silver Street Energy Storage, LLC c/o New Leaf Energy, Inc., has prepared this letter in response to the comments received by the Agawam Engineering Division on May 27, 2025 related to the Site Plan Review Application for the proposed BESS project at 404 Silver Street. Please find our responses to your comments below. Town comments have been listed in bold, followed by our response in italics.

1. **As noted on Sheet C-3.0, the area of disturbance for the project has increased to 1.04 acres. In accordance with Chapter 175-22B(1) of the Agawam Town Code and Agawam Stormwater Regulations, a Stormwater Management Permit must be completed and submitted to the Town if a project will disturb one (1) acre or more of land.**

The limit of work area has been reduced to less than one acre to limit the need for a Stormwater Management Permit application. A revised plan set is included in Attachment A.

2. **Engineering is concerned that the proposed grading on the northeastern side of the gravel access driveway loop will be too steep for vehicles to travel. Also, there appears to be a 2:1 slope proposed for the north and east sides of the infiltration trench. This is likely to cause stormwater runoff to bypass the trench in these areas.**

Grading for the access road and equipment pad area has been revised. Access road grading has been revised to have slopes ranging between 8-10 percent around the northeastern side of the driveway loop.

Grading associated with the equipment pad and infiltration trench has also been revised to eliminate the steep 2:1 slope within the infiltration trench area. The infiltration trench at the east side of the equipment pad has a two foot grade change over eight feet

3. **Engineering recommends the proposed sound barrier wall be extended along the southern side of the electrical equipment area to provide a buffer for the residence remaining at #404 Silver Street.**

Acknowledged. The Applicant has agreed to install a sound barrier wall along the southern side of the equipment area. The plans have been update to reflect this change.

Should you have any questions, please contact me at (978) 532-1900 or costello.melinda@wseinc.com.

Sincerely,

WESTON & SAMPSON ENGINEERS, INC.

Melinda Costello

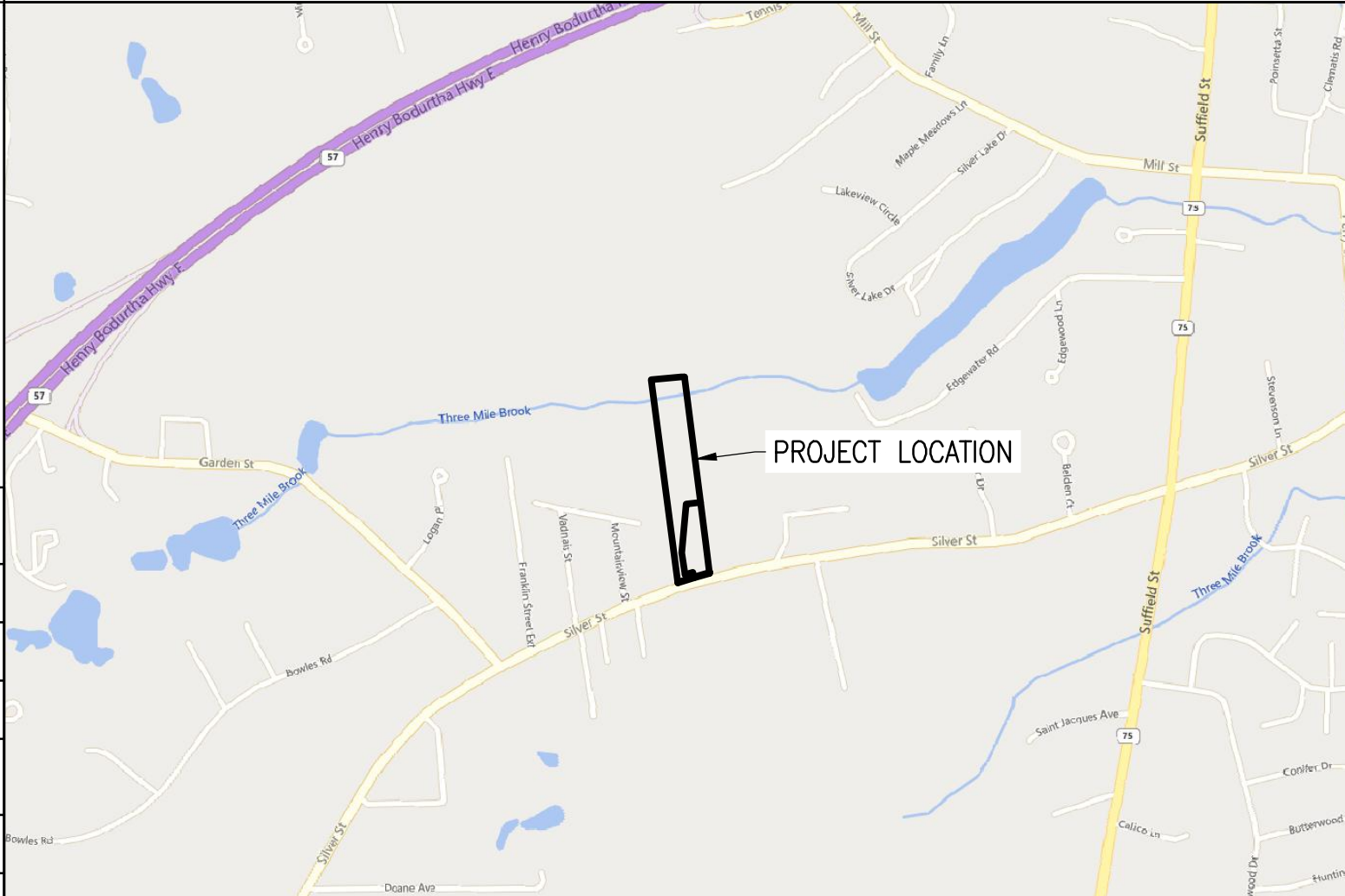
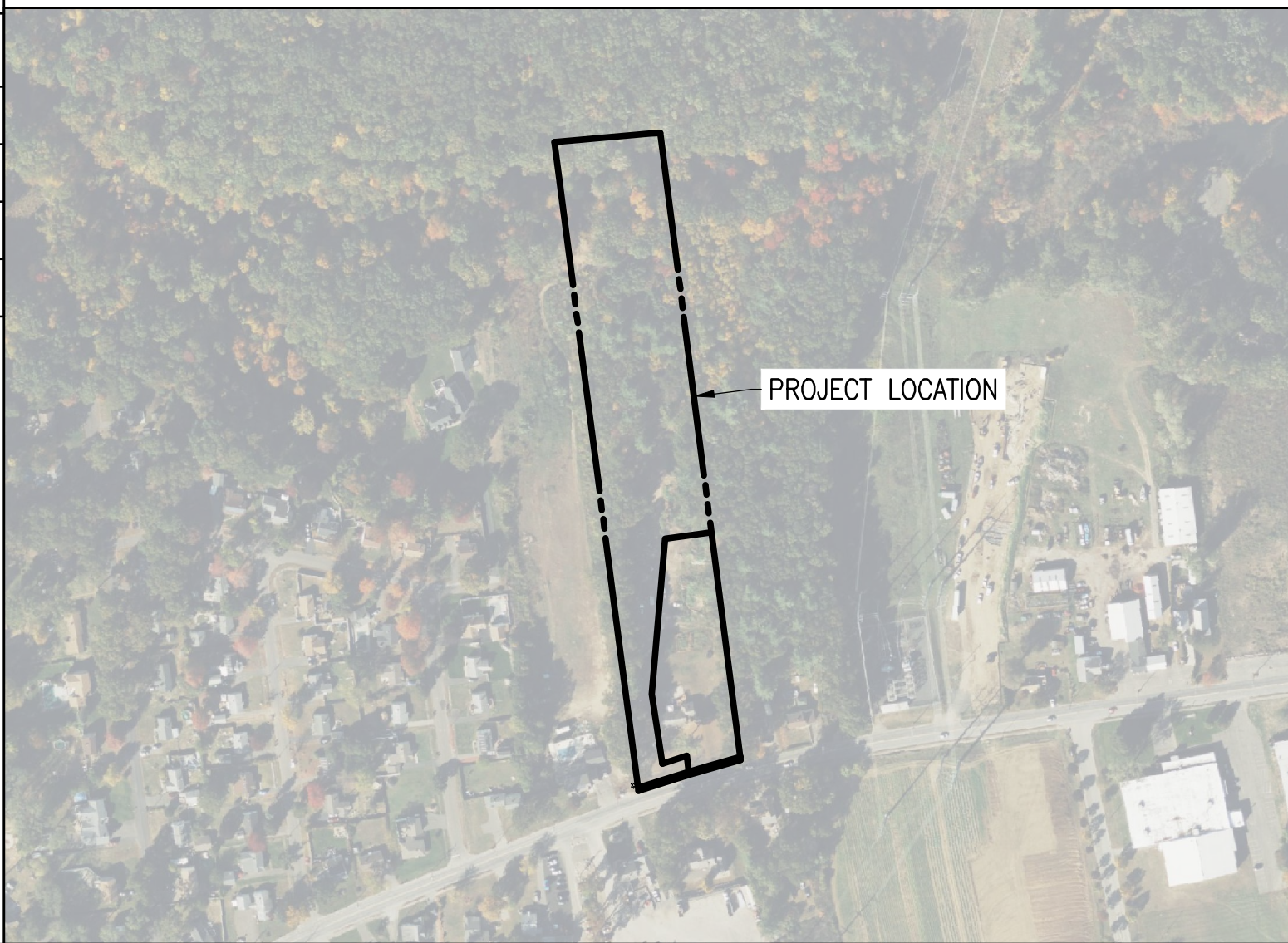
Melinda Costello, P.E.
Project Manager

cc: William Peregoy, Silver Street Energy Storage, LLC

Attachment A - Revised Site Plans

SITE USE PERMIT SET

404 SILVER ST - AGAWAM 404 SILVER ST, AGAWAM, MA 01001 BATTERY STORAGE SYSTEM

GENERAL NOTES		PROJECT SCOPE		LOCATION MAP		DRAWING LIST																																																																																									
1. AS CONTAINED HEREIN, "CONTRACTOR" IS ASSUMED TO BE THE EPC PROVIDER HIRED BY THE SYSTEM/PROJECT OWNER. 2. WHEN THERE IS A CONFLICT BETWEEN THESE GENERAL NOTES AND THE DRAWINGS, THE DRAWINGS SHALL GOVERN. 3. ALL WORK SHALL CONFORM TO THE MINIMUM STANDARDS OF THE FOLLOWING: LOCAL BUILDING CODE, LOCAL ELECTRICAL CODE, ANY OTHER REGULATING AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK AND THOSE CODES AND STANDARDS LISTED IN THESE DRAWINGS. 4. THESE DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEVELOPING A CONSTRUCTION LEVEL DESIGN AND ASSOCIATED DRAWINGS AND DETAILS. 5. COORDINATE THESE DRAWINGS WITH SPECIFICATIONS AND MANUFACTURER INSTALLATION AND OPERATION MANUALS. 6. UNLESS OTHERWISE NOTED, THE DESIGN REPRESENTED ON THESE PLANS IS BASED ON THE INFORMATION AND CRITERIA LISTED IN THE "BASIS OF DESIGN" SECTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY SUCH INFORMATION IN PREPARATION OF THE CONSTRUCTION DESIGN. 7. THE EXISTING CONDITIONS REPRESENTED ON THESE PLANS ARE BASED ON PUBLICLY AVAILABLE INFORMATION AND THE SITE DISCOVERY SUMMARIZED IN THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF SUCH INFORMATION AND SUPPLEMENT WITH ANY ADDITIONAL REQUIRED INFORMATION. 8. UNLESS INDICATED AS EXISTING (E), ALL PROPOSED MATERIALS AND EQUIPMENT SHALL BE CONSIDERED TO BE NEW. 9. ALL EQUIPMENT AND COMPONENTS SHALL BE MOUNTED IN COMPLIANCE WITH THE MANUFACTURER'S REQUIREMENTS, CONSTRUCTION DETAILS, AND/OR PRUDENT INDUSTRY STANDARDS. 10. TO THE EXTENT THAT TREES AND OTHER FEATURES AFFECT THE SYSTEM'S PRODUCTION, SUCH PRODUCTION MODELING IS BASED ON THE EXISTING APPROXIMATE HEIGHTS AND LOCATIONS RELATIVE TO THE SYSTEM AND MAY BE IMPACTED AS TREES GROW AND OTHER FEATURES CHANGE.		THIS PROJECT CONSISTS OF THE INSTALLATION OF BATTERY ENERGY STORAGE EQUIPMENT, PER THE SYSTEM DESCRIPTION BELOW. THE ENERGY STORAGE MODULES WILL BE INSTALLED IN PURPOSE BUILT ENCLOSURES WITH INTEGRATED FIRE SUPPRESSION AND COOLING SYSTEMS. THE ENERGY STORAGE MODULES WILL BE WIRED IN SERIES AND PARALLEL TO ACCOMMODATE THE POWER REQUIREMENTS OF THE POWER CONVERSION SYSTEM OR DC-DC CONVERTER (DEPENDENT ON PROJECT REQUIREMENTS). THE COMBINED POWER WILL BE CONNECTED TO CERTIFIED POWER CONVERSION SYSTEMS THAT CONVERT AC/DC AND DC/AC FOR CHARGE/DISCHARGE CAPABILITIES. DC-DC CONVERTERS WILL BE USED IN DC COUPLED PROJECTS WITH ONLY CERTIFIED INVERTERS (DC/AC) DISCHARGING ENERGY TO THE GRID.				<table><tr><th>Sheet Number</th><th>Sheet Title</th></tr><tr><td>T-1.0</td><td>TITLE PAGE</td></tr><tr><td colspan="2">CIVIL</td></tr><tr><td>C-0.0</td><td>CIVIL NOTES</td></tr><tr><td>C-1.0</td><td>EXISTING CONDITIONS PLAN</td></tr><tr><td>C-2.0</td><td>TREE CLEARING PLAN</td></tr><tr><td>C-3.0</td><td>LAYOUT AND MATERIALS PLAN</td></tr><tr><td>C-4.0</td><td>GRADING AND EROSION CONTROL PLAN</td></tr><tr><td>C-5.0</td><td>CIVIL DETAILS</td></tr><tr><td>C-5.1</td><td>CIVIL DETAILS</td></tr><tr><td>C-6.0</td><td>FIRE TRUCK TURNING PLAN</td></tr></table>		Sheet Number	Sheet Title	T-1.0	TITLE PAGE	CIVIL		C-0.0	CIVIL NOTES	C-1.0	EXISTING CONDITIONS PLAN	C-2.0	TREE CLEARING PLAN	C-3.0	LAYOUT AND MATERIALS PLAN	C-4.0	GRADING AND EROSION CONTROL PLAN	C-5.0	CIVIL DETAILS	C-5.1	CIVIL DETAILS	C-6.0	FIRE TRUCK TURNING PLAN																																																																		
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						<table><tr><td>REV</td><td>DATE</td><td>DRAWN</td><td>CHECKED</td><td>RELEASE LEVEL</td></tr><tr><td>0</td><td>02/24/25</td><td>AM&WP</td><td>NP&DL</td><td>BID SET</td></tr><tr><td>1</td><td>10/17/24</td><td>RWG</td><td>MRC</td><td>SPR FIRE DEPARTMENT COMMENTS</td></tr><tr><td>2</td><td>10/25/24</td><td>DED</td><td>MRC</td><td>SPR ENGINEERING COMMENTS</td></tr><tr><td>3</td><td>05/16/25</td><td>DED</td><td>RJB</td><td>BESS PERMIT SET</td></tr></table> SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36" T-1.0 TITLE PAGE		REV	DATE	DRAWN	CHECKED	RELEASE LEVEL	0	02/24/25	AM&WP	NP&DL	BID SET	1	10/17/24	RWG	MRC	SPR FIRE DEPARTMENT COMMENTS	2	10/25/24	DED	MRC	SPR ENGINEERING COMMENTS	3	05/16/25	DED	RJB	BESS PERMIT SET																																																															
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GENERAL CIVIL NOTES

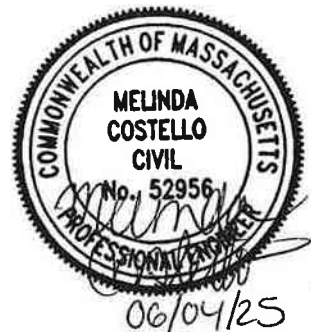
ABBREVIATIONS

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2	10/25/24	DED	RJC	SPR SPR ENGINEERING COMMENTS
3	05/16/25	DED	RJB	BESS PERMIT SET
4	06/04/25	DED	RJB	TOWN COMMENTS

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C-0.0

CIVIL NOTES

GENERAL NOTES

1. AS CONTAINED HEREIN, "CONTRACTOR" IS ASSUMED TO BE THE EPC PROVIDER HIRED BY THE EPC PROVIDER OWNER. "SUBCONTRACTOR" IS THE EPC PROVIDER'S INSTALLATION SUBCONTRACTORS (INCLUDING SITE WORK SUBCONTRACTOR) AND CIVIL ENGINEER OF RECORD (CEOR) IS THE EPC PROVIDER'S DESIGNATED CIVIL ENGINEER.
2. EXISTING CONDITIONS SURVEY INFORMATION WAS PREPARED BY NORTHEAST SURVEY CONSULTANTS PERFORMED ON 2/1/2022. HORIZONTAL DATUM IS REFERENCED TO THE MASSACHUSETTS COORDINATE SYSTEM NORTH AMERICAN DATUM 1983. VERTICAL DATUM IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM 1988.
3. THERE IS NO GUARANTEE THAT ALL THE EXISTING UTILITIES, WHETHER FUNCTIONAL OR ABANDONED WITHIN THE PROJECT LIMITS ARE ON THIS DRAWING. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES BEFORE STARTING WORK AND SHALL BE RESPONSIBLE FOR ALL DAMAGE RESULTING FROM THIS WORK. A DIG SAFE TICKET NUMBER INDICATING ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED SHALL BE OBTAINED PRIOR TO COMMENCING WORK. CONTACT "DIG SAFE SYSTEM, INC." AT 1-888-344-7233 AND PROVIDE 72 HOURS NOTICE TO RECEIVE A TICKET NUMBER.
4. THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE ELECTRIC UTILITY COMPANY. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
5. TOWN APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES.
6. PRIOR TO CONSTRUCTING THE SITE ENTRANCE ONTO SILVER STREET, THE CONTRACTOR SHALL OBTAIN A HIGHWAY/DRIVEWAY PERMIT FROM THE APPLICABLE AHJ.
7. SUBCONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
8. ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE CONTRACTOR/CEOR FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
9. AREAS USED AS FOR PARKING DURING CONSTRUCTION SHALL BE RESTORED TO PRE-CONSTRUCTION CONDITIONS INCLUDING, BUT NOT LIMITED TO, REGRADING, LOAMING AND SEEDING. IN NO CASE SHALL PARKING AREAS, LAYDOWN AREAS, CONSTRUCTION TRAILERS, AND PORTABLE TOILETS BE LOCATED WITHIN A WETLAND RESOURCE AREA AND/OR ANY BUFFER ZONES.
10. PER THE TOWN OF AGAWAM ENGINEERING DEPARTMENT THE PROJECT SHALL HAVE AN E911 ADDRESS OF 408 SILVER STREET.
11. ARTICLE XXIII BATTERY ENERGY STORAGE SYSTEM REQUIRES A MINIMUM SETBACK OF 50 FEET FROM ALL SIDE, REAR, AND FRONT LOT LINES FOR TIER II BATTERY ENERGY STORAGE SYSTEMS (BESS).

SITE PREPARATION NOTES

1. AREAS DESIGNATED FOR TREE CUTTING SHALL BE CUT ONLY. NO GRUBBING OR STRIPPING OF TOPSOIL IS NECESSARY UNLESS SPECIFICALLY SHOWN OTHERWISE AND APPROVAL HAS BEEN GIVEN BY THE CONTRACTOR.
2. TREE CLEARING AND STUMP REMOVAL SHALL BE IN ACCORDANCE WITH APPROVED LOCAL, STATE AND FEDERAL PERMITS. TREES TO BE REMOVED SHALL BE MARKED BY THE CONTRACTOR'S PROJECT MANAGER OR SITE SUPERINTENDENT PRIOR TO COMMENCEMENT OF WORK ON-SITE.
3. SEASONAL TREE CLEARING RESTRICTIONS MAY BE REQUIRED FOR ENDANGERED SPECIES PROTECTION. THE CONTRACTOR SHALL REFER TO THE TREE CLEARING PLAN FOR ANY RESTRICTIONS.
4. THE SUBCONTRACTOR(S) IS/ARE RESPONSIBLE FOR ANY DAMAGE TO EXISTING SITE CONDITIONS TO REMAIN THAT ARE DUE TO SUBCONTRACTOR(S) OPERATIONS.
5. ITEMS TO BE REMOVED THAT ARE NOT STOCKPILED FOR LATER REUSE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF SITE BY THE SUBCONTRACTOR(S).
6. THE SUBCONTRACTOR(S) SHALL BE RESPONSIBLE FOR COORDINATING THEIR EFFORTS WITH ALL TRADES.
7. THE SUBCONTRACTOR(S) SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY.
8. TEMPORARY CONSTRUCTION HAUL ROADS SHALL BE USED DURING CONSTRUCTION IF DEEMED NECESSARY BY THE CONTRACTOR. THE USE OF SEPARATION FABRICS SHALL BE USED TO FACILITATE FUTURE REMOVAL AND RECOVERY OF GRANULAR MATERIALS. HAUL ROADS SHALL BE MAINTAINED DURING CONSTRUCTION WITH APPROPRIATE EROSION CONTROL AND STORMWATER REDUCTION MEASURES. ONCE REMOVED, THE SUB-BASE AREA SHOULD BE DECOMPACTED, LOAM REPLACED, AND RESEDED.
9. THE SITE ACCESS ROADS ARE DESIGNED TO MEET STATE FIRE CODE FOR FIRE TRUCK ACCESS. MEANS AND METHODS FOR ACCOMMODATING LARGER CONSTRUCTION DELIVERY VEHICLES MUST BE DETERMINED BY THE CONTRACTOR.
10. THE PROPOSED ROAD DESIGN SHOWN IN THESE PLANS SHALL BE CONSIDERED THE FINAL DESIGN CONDITION. ADDITIONAL MEANS AND METHODS OF CONSTRUCTION DEEMED NECESSARY BY THE OWNER OR CONTRACTOR SHALL BE DESIGNED BY OTHERS AND INCLUDED IN THE INITIAL EPC BID PRICE (INCLUDING, BUT NOT LIMITED TO: TEMPORARY HAUL ROADS, WIDENED OR LENGTHENED ROADS AND TURN OUT AREAS FOR LARGER CONSTRUCTION AND DELIVERY VEHICLES, TEMPORARY PARKING AND LAYDOWN AREAS, MODIFIED GRADING TO SUPPORT CONSTRUCTION AND DELIVERY VEHICLES, ETC.).

EROSION AND SEDIMENT CONTROL MEASURES

1. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR DISTURBANCE AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE SMALLEST PRACTICAL AREA OF LAND SHALL BE EXPOSED AT ANY ONE TIME.
2. SEDIMENT BARRIERS SHALL BE INSPECTED AND APPROVED BY THE TOWN OF AGAWAM OR THEIR REPRESENTATIVE AND THE CONTRACTOR/CEOR BEFORE CONSTRUCTION BEGINS.
3. STRAW BALES AND MULCH SHALL BE MOWINGS OF ACCEPTABLE HERBACEOUS GROWTH, FREE OF NOXIOUS WEEDS OR WOODY STEMS, AND SHALL BE DRY WHEN INSTALLED.
4. DISTURBED AREAS SHALL BE BLANKETED OR SEEDED AND MULCHED AS SOON AS PRACTICAL AFTER CONSTRUCTION ACTIVITIES IN THAT AREA HAVE CONCLUDED. ALL ERODABLE/BARE AREAS SHALL BE BLANKETED OR SEEDED AND MULCHED WITHIN 7 DAYS WITH TEMPORARY EROSION CONTROL SEEDING.
5. PRIOR TO SEEDING, ACCESS AISLES, TEMPORARY STAGING, STORAGE, AND PARKING AREAS ARE TO BE DE-COMPACTED AND RESTORED PER THE SWPPP.

7. STABILIZE SLOPES GREATER THAN 3:1 (HORIZONTAL: VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, SPRAYED COMPOST BLANKET, OR RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
8. SEDIMENT BARRIERS SHALL BE CONSTRUCTED AROUND ALL SOIL STOCKPILE AREAS.
9. CLEAN OUT PROJECT DRAINAGE FEATURES AND STRUCTURES (I.E. CULVERTS, BASINS, SWALES, ETC.) AFTER COMPLETION OF CONSTRUCTION.
10. SEDIMENT COLLECTED DURING CONSTRUCTION BY THE VARIOUS EROSION CONTROL SYSTEMS SHALL BE DISPOSED OF ON THE SITE ON A REGULAR BASIS. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL SYSTEMS WHEN THE HEIGHT OF THE SEDIMENT EXCEEDS ONE-HALF OF THE HEIGHT OF THE SEDIMENT CONTROL MEASURE.
11. AFTER ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE SUBCONTRACTOR(S) SHALL REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AT THE CONTRACTOR/CEOR DIRECTION.
12. AFTER THE REMOVAL OF TEMPORARY EROSION CONTROL MEASURES, THE SUBCONTRACTOR(S) SHALL GRADE AND SEED AREA OF TEMPORARY EROSION CONTROL MEASURE.
13. DAMAGED OR DETERIORATED EROSION AND SEDIMENT CONTROL ITEMS WILL BE REPAIRED IMMEDIATELY AFTER IDENTIFICATION OR AS DIRECTED BY THE CONTRACTOR/CEOR.
14. THE CONTRACTOR'S SITE SUPERINTENDENT IS RESPONSIBLE FOR DAILY INSPECTIONS, MAINTENANCE, AND DIRECTING REPAIR ACTIVITIES. THE CONTRACTOR SHALL INSPECT EROSION CONTROL MEASURES ONCE EVERY SEVEN (7) CALENDAR DAYS OR ONCE EVERY FOURTEEN (14) DAYS AND WITHIN 24 HOURS OF ANY STORM EXCEEDING 1/2 INCH PRECIPITATION, IN ACCORDANCE WITH THE NPDES REQUIREMENTS. DAMAGED AND INEFFECTIVE EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS.
15. WATER PUMPED OR OTHERWISE DISCHARGED FROM THE SITE DURING CONSTRUCTION DEWATERING IF REQUIRED, SHALL BE FILTERED.
16. WHEN TEMPORARY DRAINAGE IS ESTABLISHED, EROSION/SEDIMENTATION CONTROL MEASURES MAY BE REQUIRED BY CONTRACTOR/CEOR.
17. GRAVEL ROADS, ACCESS DRIVES, PARKING AREAS OF SUFFICIENT WIDTH AND LENGTH, AND VEHICLE WASH DOWN FACILITIES, SHALL BE PROVIDED TO PREVENT SOIL FROM BEING TRACKED ONTO PUBLIC OR PRIVATE ROADWAYS. ANY SOIL REACHING A PUBLIC OR PRIVATE ROADWAY SHALL BE REMOVED BEFORE THE END OF EACH WORKDAY.
18. NECESSARY MEASURES SHALL BE TAKEN TO CONTAIN ANY FUEL OR POLLUTION RUNOFF. NO RE-FUELING SHALL OCCUR WITHIN 100 FEET OF ANY WETLAND RESOURCE AREA AND 200 FEET FROM RIVERFRONT. LEAKING EQUIPMENT OR SUPPLIES SHALL BE IMMEDIATELY REPAIRED OR REMOVED FROM THE SITE.
19. THE COST OF REPAIRING EROSION CONTROL MEASURES OR REMOVING SEDIMENT FROM EROSION CONTROL SYSTEMS SHALL BE INCLUDED IN THE CONTRACT UNIT PRICE FOR THE APPLICABLE EROSION CONTROL ITEM.
20. EROSION CONTROL MEASURES SHALL BE KEPT OPERATIONAL AND MAINTAINED CONTINUOUSLY THROUGHOUT THE PERIOD OF LAND DISTURBANCE UNTIL PERMANENT SEDIMENT AND EROSION CONTROL MEASURES ARE OPERATIONAL.
21. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT DUST FROM FORMING.
22. EROSION CONTROL MEASURES AS SHOWN ON THESE DRAWINGS IS INTENDED TO CONVEY MINIMUM REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY TO PREVENT SOIL EROSION AND TO COMPLY WITH THE PROJECT'S NPDES PERMIT STORMWATER POLLUTION PREVENTION PLAN.

LAYOUT AND MATERIAL NOTES

1. THE CONTRACTOR SHALL HAVE PERIMETER FENCE, ELECTRICAL TRENCHES, AND PAD LIMITS STAKED OUT BY A LICENSED LAND SURVEYOR PRIOR TO ANY INSTALLATION OF EQUIPMENT PADS OR TRENCHES.
2. EXCESS TRENCH MATERIAL SHALL BE PLACED ON THE SIDES OF THE TRENCH AND PLACED AT OR NEAR THE SAME LOCATION AS WHERE EXCAVATED. TOPSOIL REMOVED SHALL BE PLACED ON TOP AND LIGHTLY COMPACTED.
3. SUBCONTRACTOR SHALL INSTALL CONDUITS FOR ALL ELECTRIC CONDUIT CROSSINGS PRIOR TO INSTALLATION OF THE GEOGRID MATERIAL. THE GEOGRID SHALL NOT BE HORIZONTALLY CUT ONCE INSTALLED.

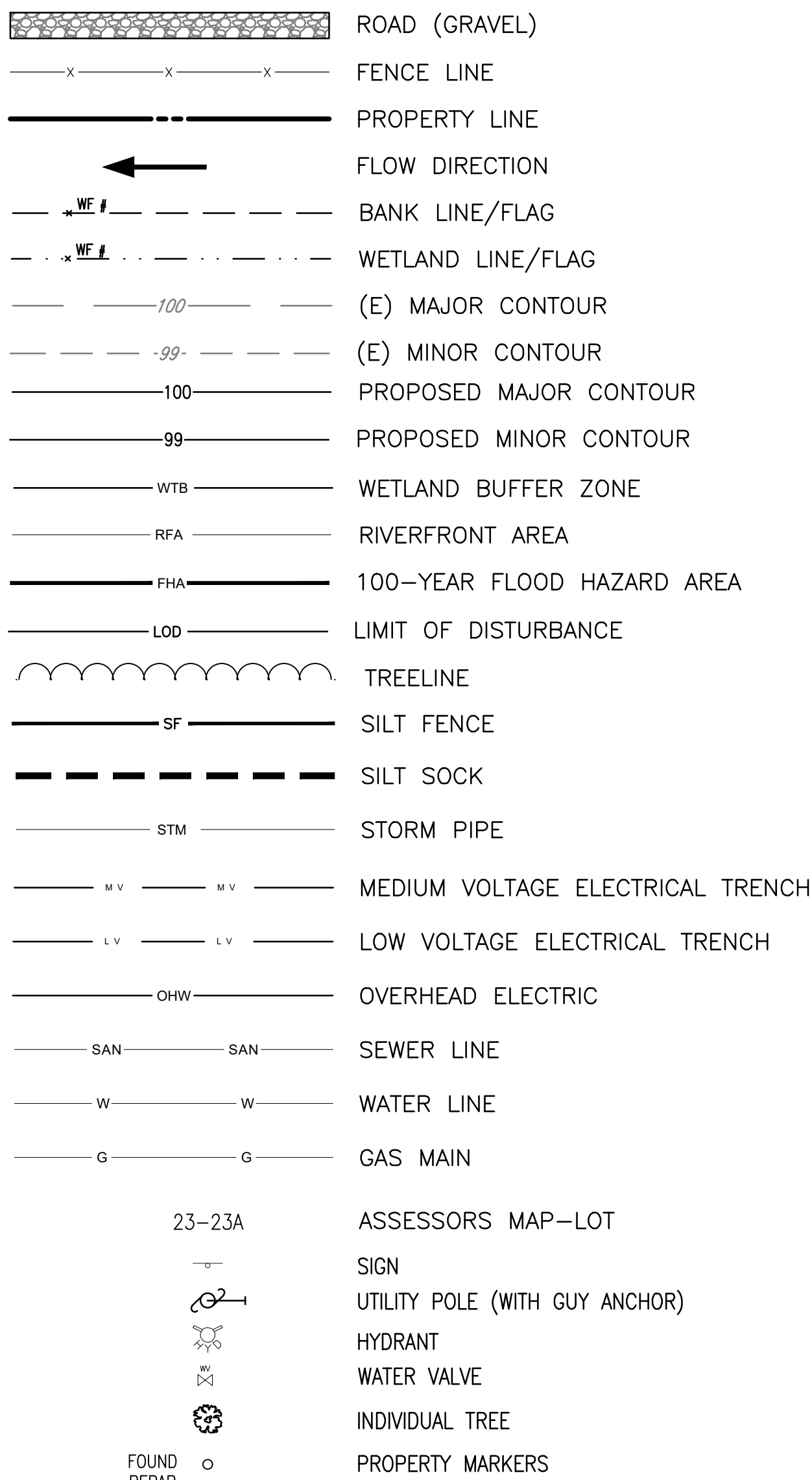
GRADING NOTES

1. WHERE PROPOSED GRADES MEET EXISTING GRADES, SUBCONTRACTOR(S) SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
2. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, PUBLIC ROADWAYS, AND ELECTRICAL EQUIPMENT AREAS.

BIT	BITUMINOUS
BMP	BEST MANAGEMENT PRACTICE
BWV	BORDERING VEGETATED WETLANDS
CB	CONCRETE BOUND
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
DH	DRILL HOLE
DIP	DUCTILE IRON PIPE
DMH	DRAIN MANHOLE
ECB	EROSION CONTROL BARRIER
FES	FLARED END SECTION
FH	FIRE HYDRANT
FND	FOUND
GG	GAS GATE
HDPE	HIGH-DENSITY POLYETHYLENE
HW	HEADWALL
ILSF	ISOLATED LANDS SUBJECT TO FLOODING
IP	IRON PIPE
ISW	ISOLATED WETLANDS (FEDERAL JURISDICTION)
LA	LANDSCAPED AREA
LOW	LIMIT OF WORK
N/F	NOW OR FORMERLY
NTS	NOT TO SCALE
OCS	OUTLET CONTROL STRUCTURE
OHW	OVERHEAD WIRE
RCP	REINFORCED CONCRETE PIPE
RET	RETAINING
ROW	RIGHT-OF-WAY
SB	STONE BOUND
TEL	TELEPHONE CABLE
TYP	TYPICAL
UP	UTILITY POLE
WG	WATER GATE

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LEGEND

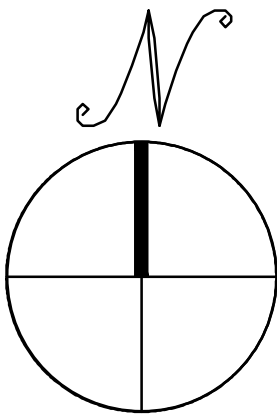


NOTE: ITALIC FONTS INDICATE EXISTING CONDITIONS.
STANDARD FONTS INDICATE PROPOSED CONDITIONS.



EXISTING CONDITIONS PLAN

SCALE: 1" = 40'



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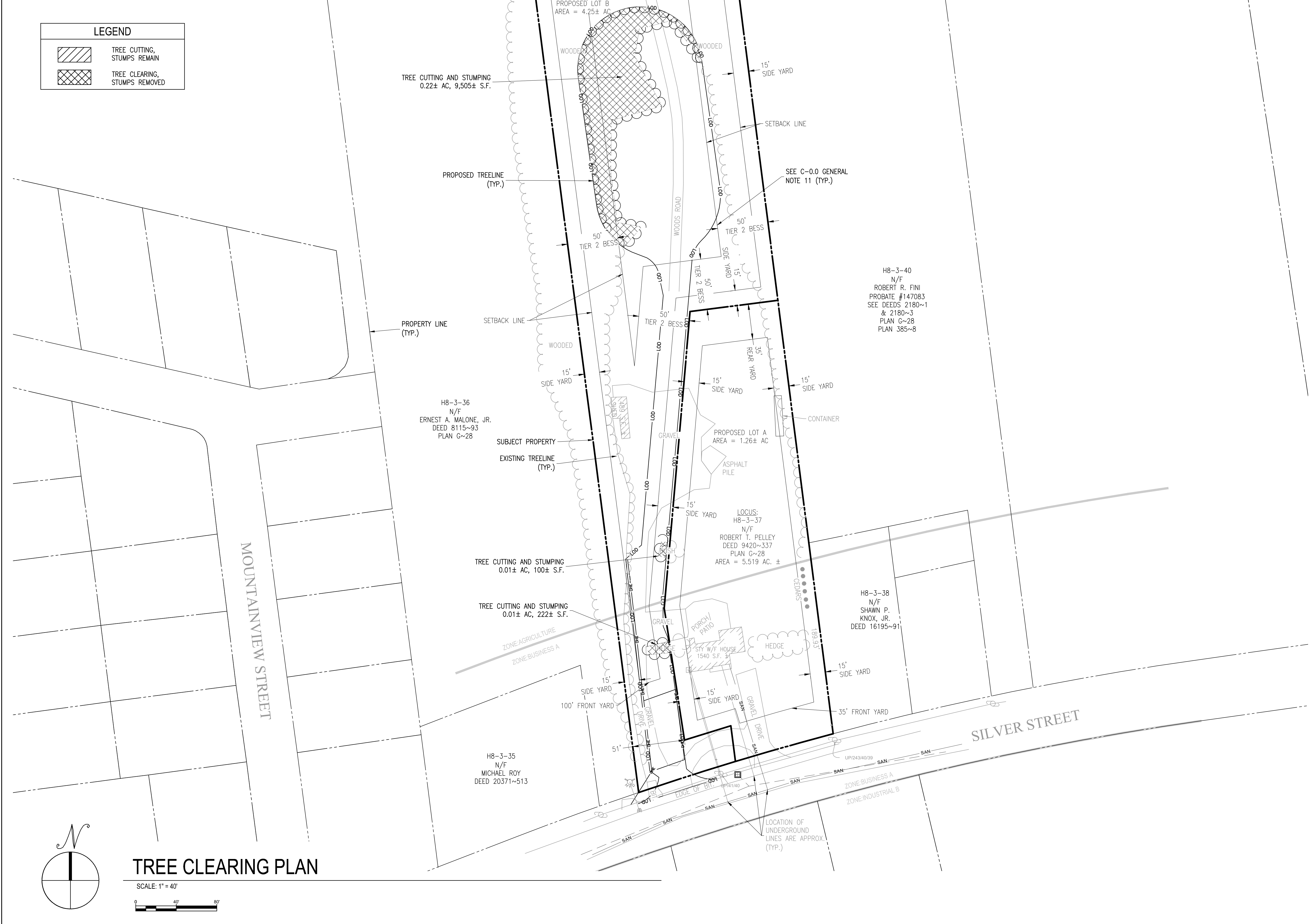
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4	06/04/25	DED	RJB	TOWN COMMENTS

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EXISTING CONDITIONS PLAN

NOTE:
1. EXISTING CONDITIONS TOPOGRAPHY AND APPROXIMATE BOUNDARY LINES FROM "LIMITED ALTA/NSPS LAND TITLE SURVEY OF LAND IN AGAWAM, MA", DATED 2/1/2022, AND PREPARED BY NORTHEAST SURVEY CONSULTANTS. THIS EXISTING CONDITIONS PLAN IS NOT A BOUNDARY SURVEY.



LEGEND

TREE CUTTING,
STUMPS REMAIN

TREE CLEARING,
STUMPS REMOVED

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COMMONWEALTH OF MASSACHUSETTS

MELINDA COSTELLO
CIVIL
No. 52956
06/04/25

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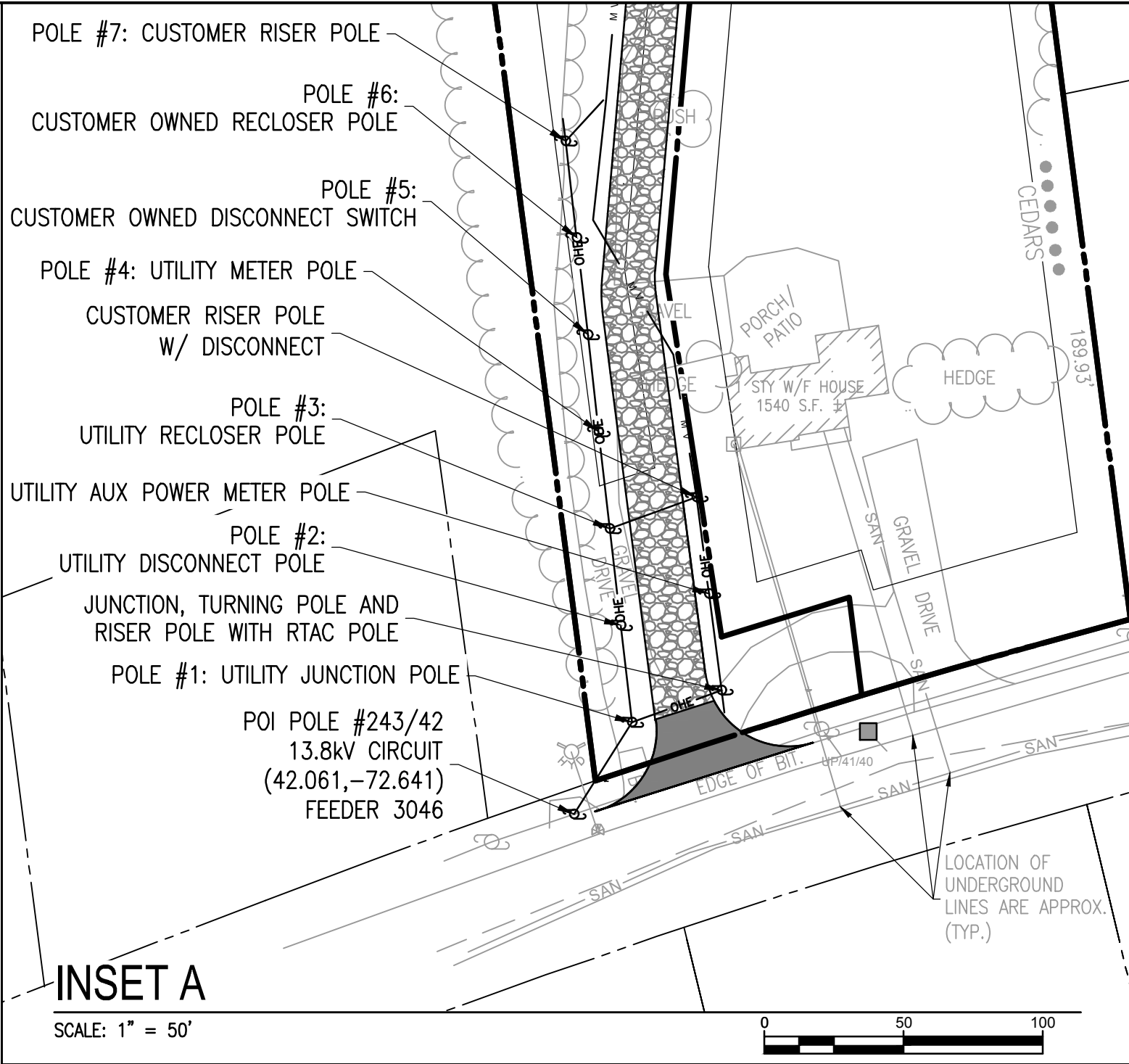
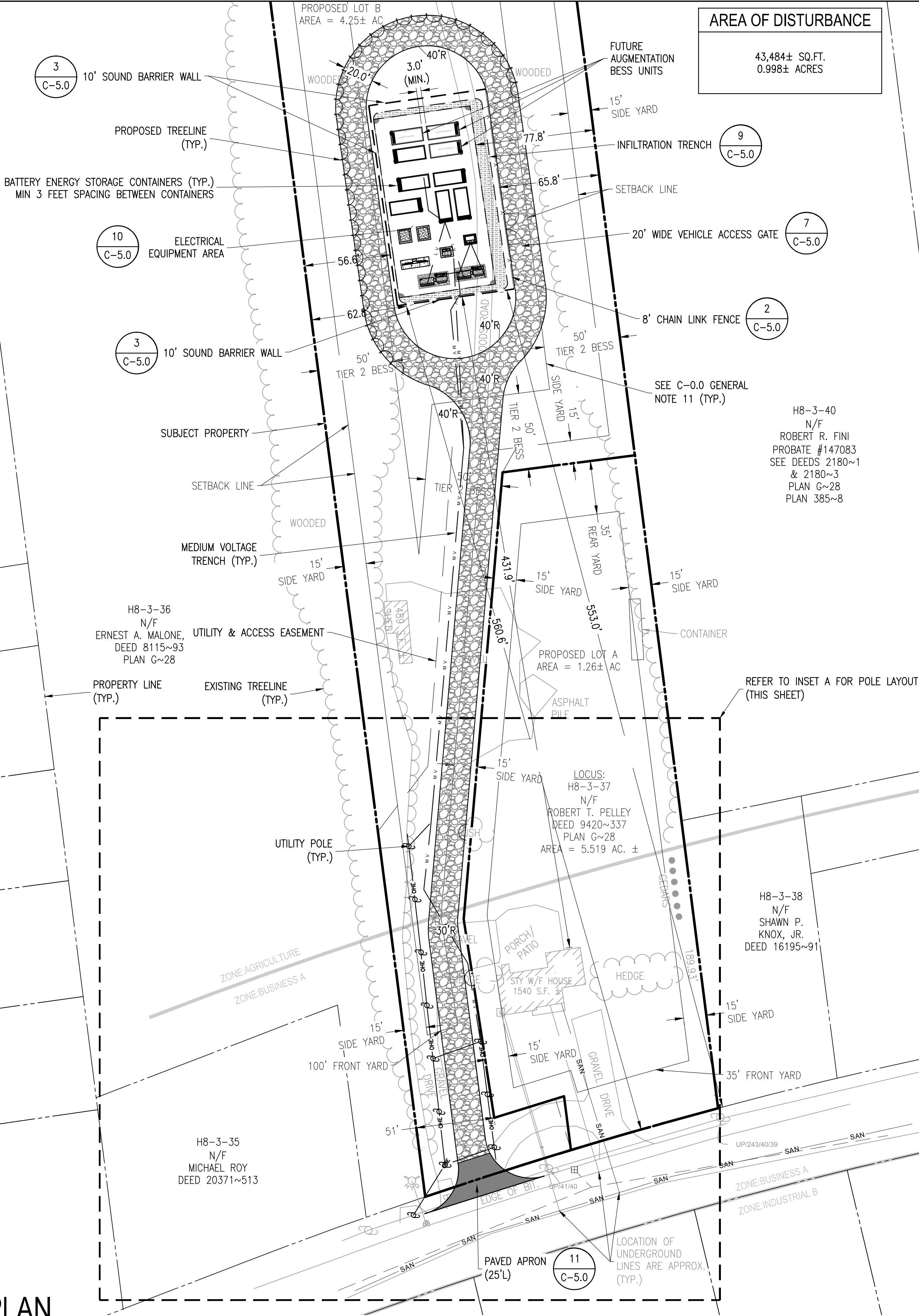
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TREE CLEARING PLAN

Page 26 of 66

ZONING SUMMARY TABLE				
PARCEL NUMBER(S): H8-3-37				
ZONING DISTRICT: AGRICULTURAL				
PROPOSED LOT B				
BYLAW SECTION	UNITS	REQUIRED	PROPOSED	NOTES
MIN. LOT AREA	SQ.FT.	20,000	185,130±	NONE
LOT FRONTAGE	FT.	100	100	NONE
FRONT YARD	FT.	100	546±	FROM PAD
SIDE YARD	FT.	15	56±	FROM FENCE
REAR YARD	FT.	20	518±	FROM FENCE
MAX. BUILDING HEIGHT	FT.	15	<15	TOP OF SOUND BARRIER
MAX. LOT COVERAGE	%	N/A	--	NONE
ZONING DISTRICT: BUSINESS A (RES-B ZONING REQUIREMENTS LISTED)				
PROPOSED LOT A				
BYLAW SECTION	UNITS	REQUIRED	PROPOSED	NOTES
MIN. LOT AREA	SQ.FT.	12,000	54,886±	NONE
LOT FRONTAGE	FT.	100	100	NONE
FRONT YARD	FT.	30	--	NONE
SIDE YARD	FT.	15	--	NONE
REAR YARD	FT.	20	--	NONE
MAX. BUILDING HEIGHT	FT.	35	--	NONE
MAX. LOT COVERAGE	%	40	--	NONE

ARTICLE XXIII BATTERY ENERGY STORAGE SYSTEM REQUIRES A MINIMUM SETBACK OF 50 FEET FROM ALL SIDE, REAR, AND FRONT LOT LINES FOR TIER II BATTERY ENERGY STORAGE SYSTEMS (BESS).



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MELINDA COSTELLO CIVIL
No. 52958
Professional Engineer
06/04/25

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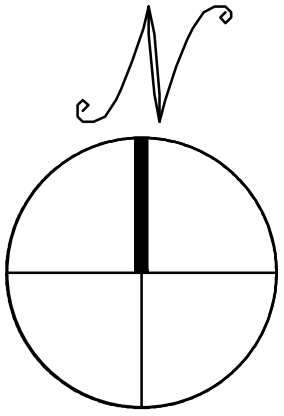
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LAYOUT AND MATERIALS PLAN

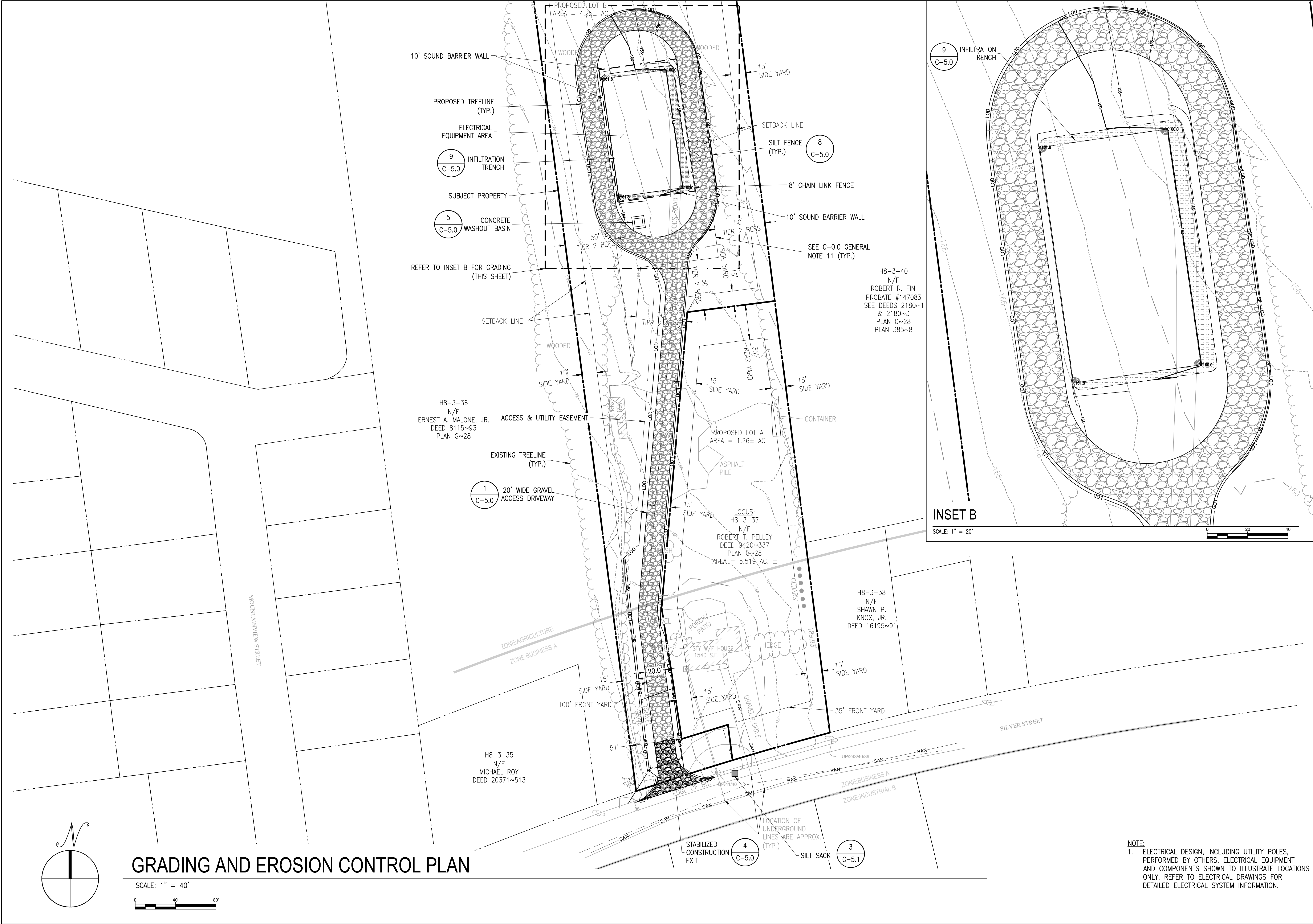


LAYOUT AND MATERIALS PLAN

SCALE: 1" = 40'



- NOTE:
- ELECTRICAL DESIGN, INCLUDING UTILITY POLES, PERFORMED BY OTHERS. ELECTRICAL EQUIPMENT AND COMPONENTS SHOWN TO ILLUSTRATE LOCATIONS ONLY. REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL SYSTEM INFORMATION.
 - PER THE TOWN OF AGAWAM ENGINEERING DEPARTMENT, THE PROJECT SHALL HAVE AN E911 ADDRESS OF 408 SILVER STREET.



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MELINDA COSTELLO
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AGAWAM, MA 01001

PROJECT NUMBER:
120-0339

REV	DATE	DRAWN	CHECKED	RELEASE LEVEL
0	02/24/25	AM&WP	NP&DL	BID SET
1	10/17/24	RWG	MRC	SPR FIRE DEPARTMENT COMMENTS
2	10/25/24	DED	MRC	SPR ENGINEERING COMMENTS
3	05/16/25	DED	RJB	BESS PERMIT SET
4	06/04/25	DED	RJB	TOWN COMMENTS

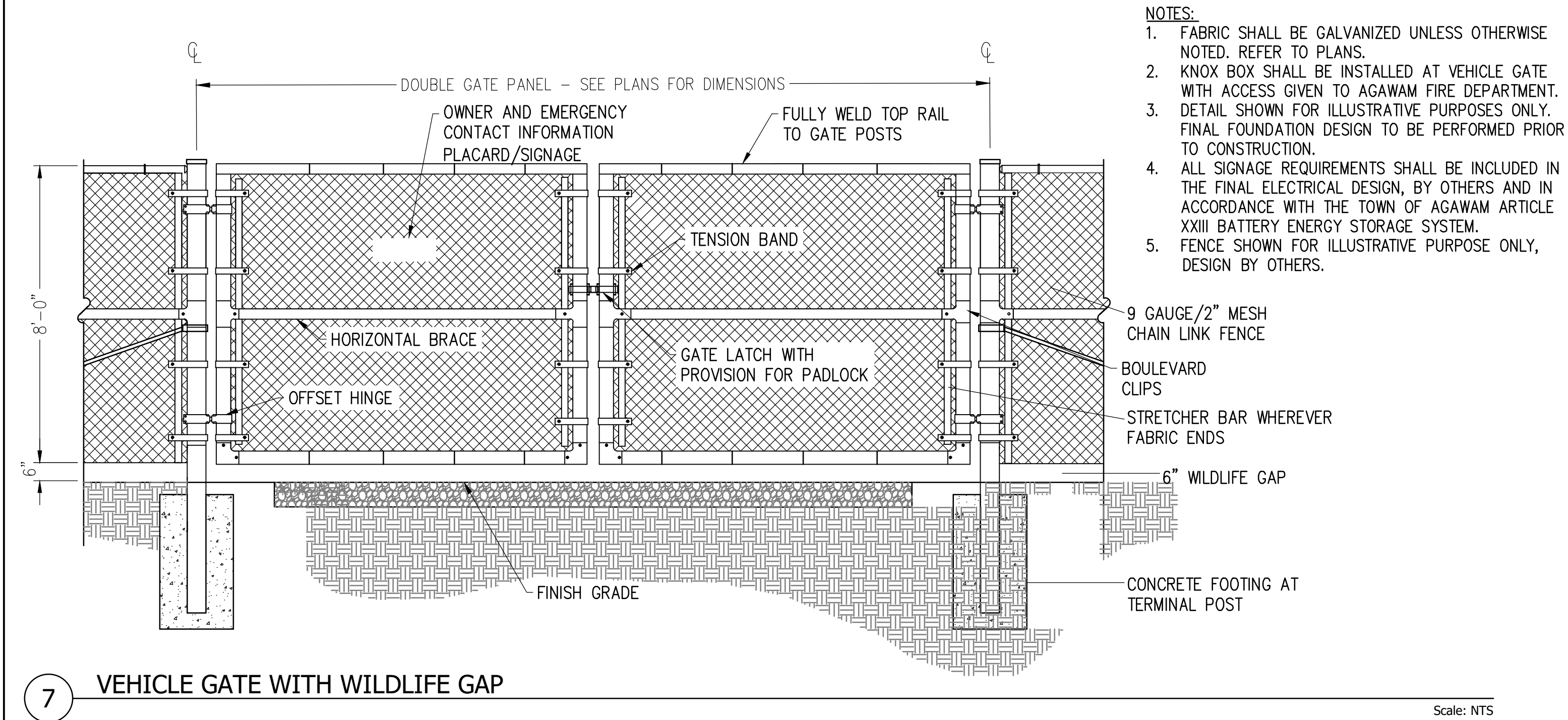
NOTES:

1. ELECTRICAL DESIGN, INCLUDING UTILITY POLES, PERFORMED BY OTHERS. ELECTRICAL EQUIPMENT AND COMPONENTS SHOWN TO ILLUSTRATE LOCATIONS ONLY. REFER TO ELECTRICAL DRAWINGS FOR DETAILED ELECTRICAL SYSTEM INFORMATION.

SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ARCH D 24" X 36"

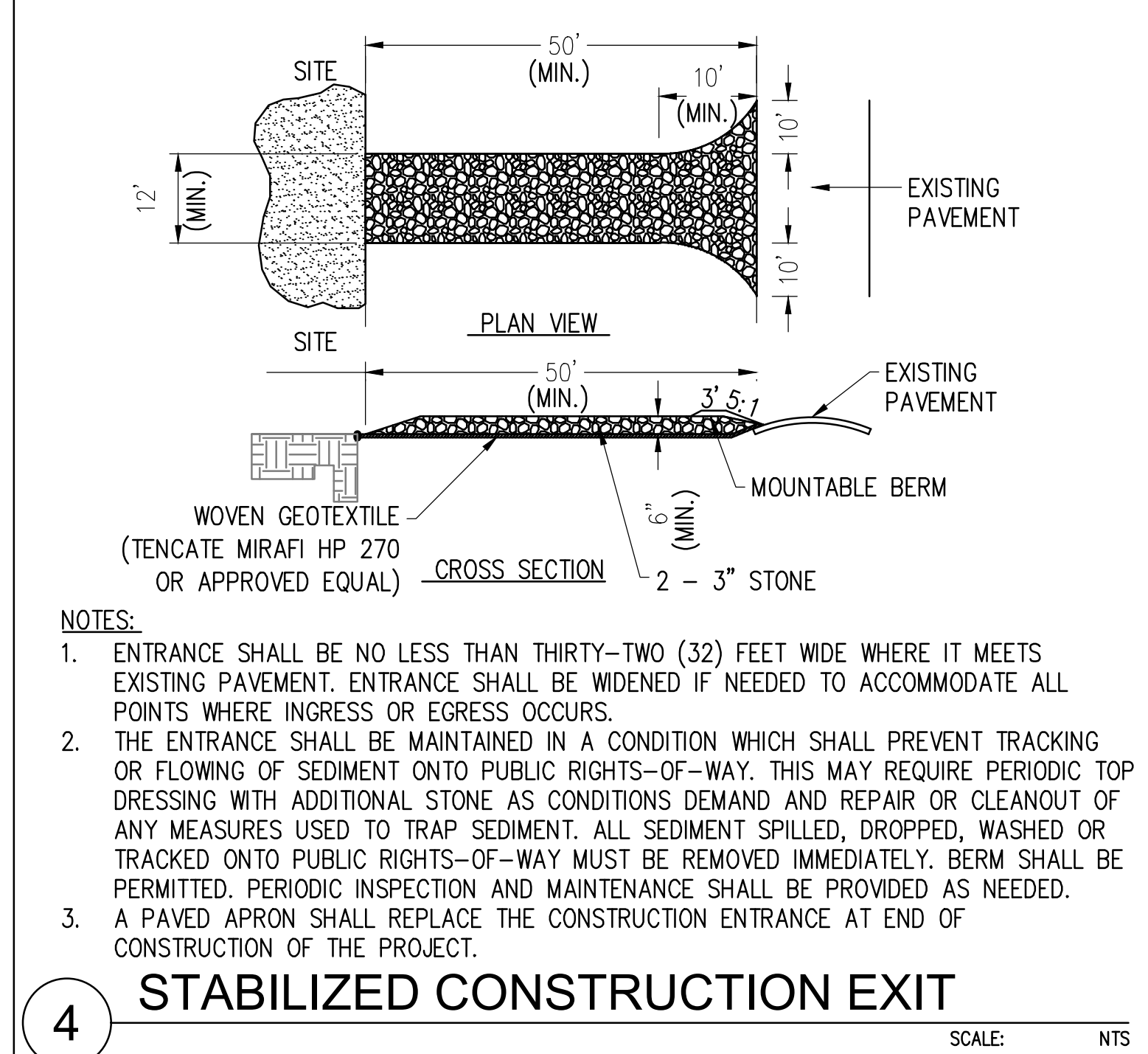
C-4.0

GRADING AND EROSION CONTROL PLAN



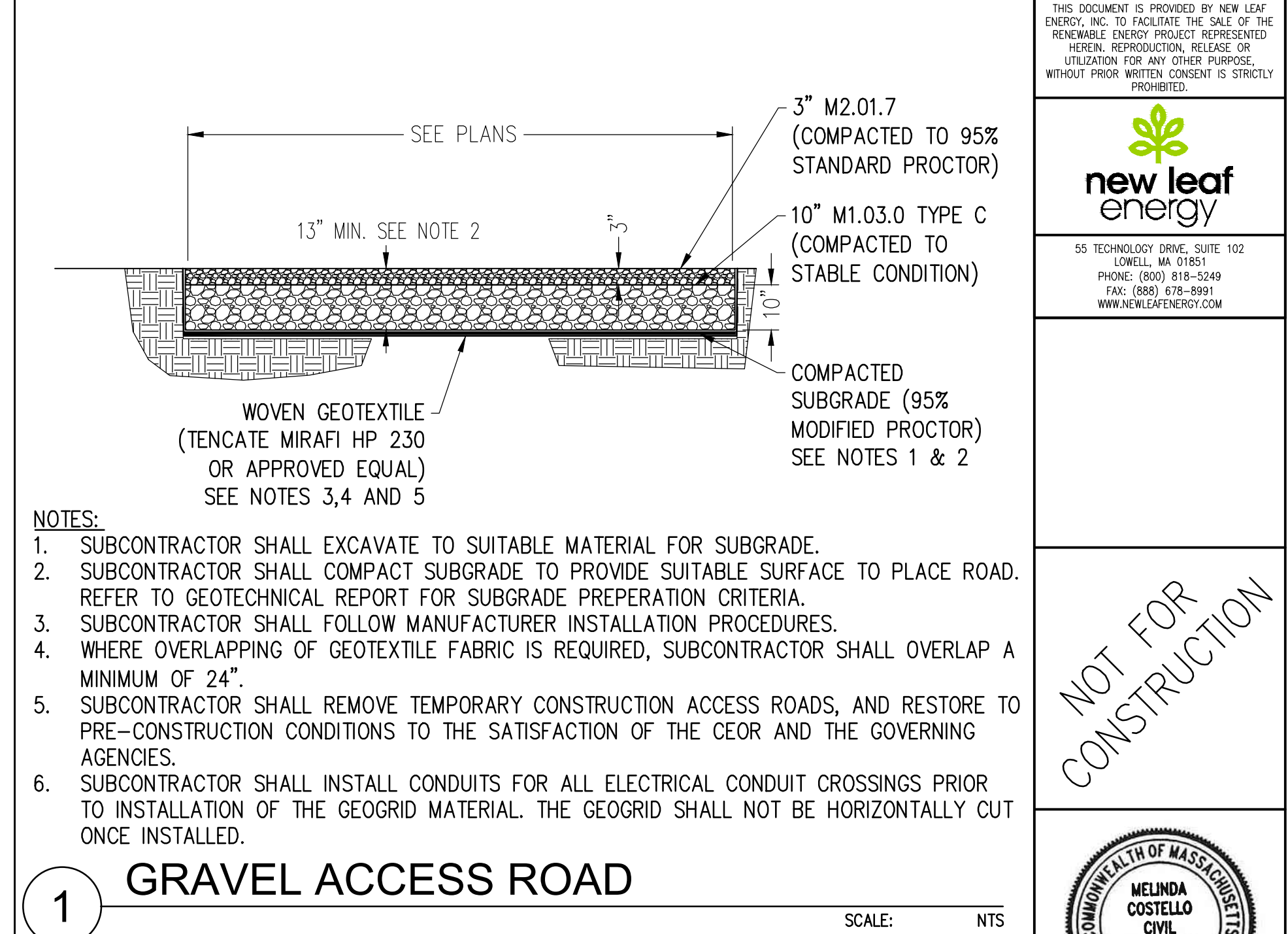
- NOTES:
1. FABRIC SHALL BE GALVANIZED UNLESS OTHERWISE NOTED. REFER TO PLANS.
 2. KNOX BOX SHALL BE INSTALLED AT VEHICLE GATE WITH ACCESS GIVEN TO AGAWAM FIRE DEPARTMENT. DETAIL SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL FOUNDATION DESIGN TO BE PERFORMED PRIOR TO CONSTRUCTION.
 3. ALL SIGNAGE REQUIREMENTS SHALL BE INCLUDED IN THE FINAL ELECTRICAL DESIGN, BY OTHERS AND IN ACCORDANCE WITH THE TOWN OF AGAWAM ARTICLE XXIII BATTERY ENERGY STORAGE SYSTEM.
 4. FENCE SHOWN FOR ILLUSTRATIVE PURPOSE ONLY, DESIGN BY OTHERS.

Scale: NTS



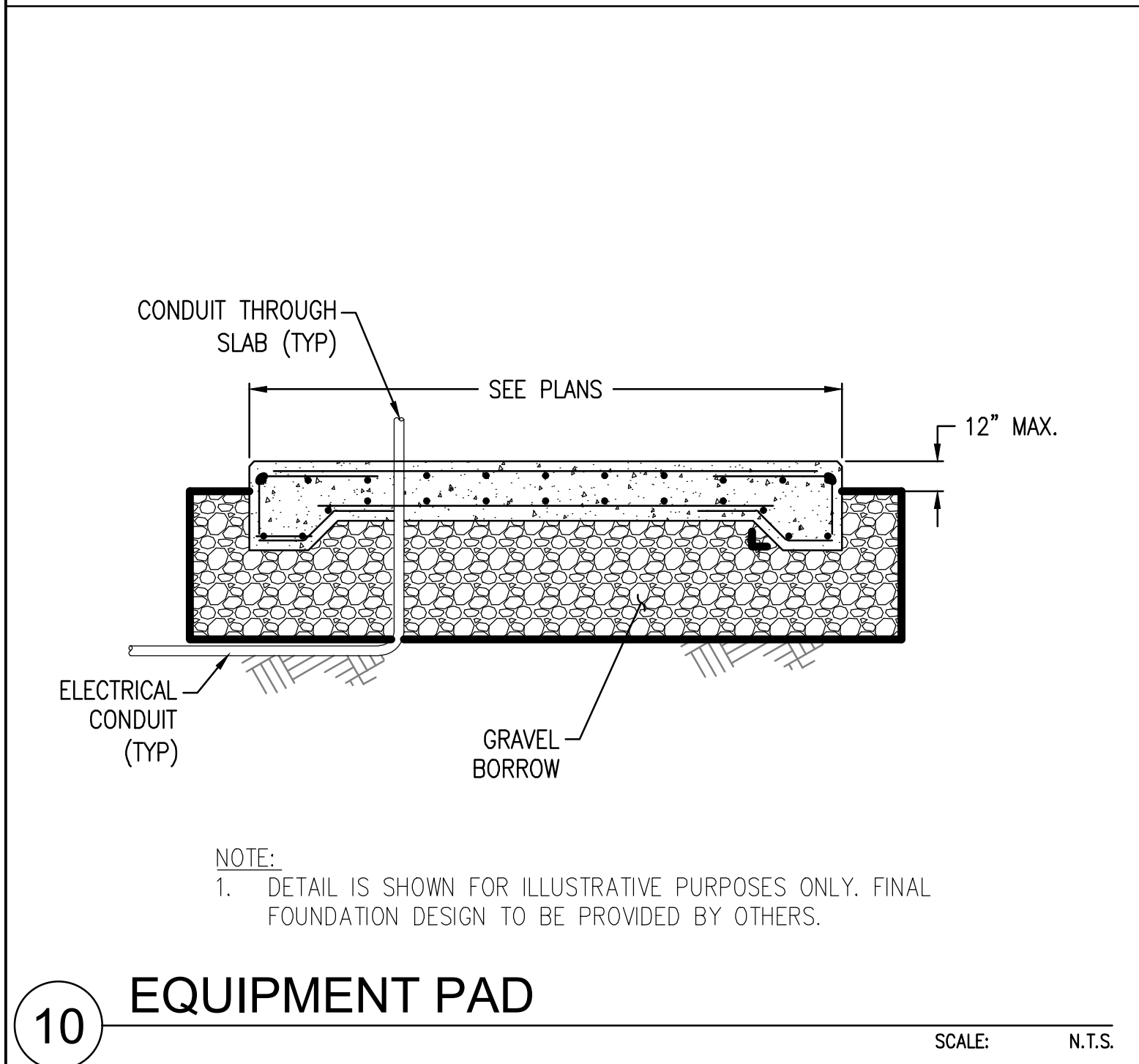
- NOTES:
1. ENTRANCE SHALL BE NO LESS THAN THIRTY-TWO (32) FEET WIDE WHERE IT MEETS EXISTING PAVEMENT. ENTRANCE SHALL BE WIDENED IF NEEDED TO ACCOMMODATE ALL POINTS WHERE INGRESS OR EGRESS OCCURS.
 2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 3. A PAVED APRON SHALL REPLACE THE CONSTRUCTION ENTRANCE AT END OF CONSTRUCTION OF THE PROJECT.

Scale: NTS

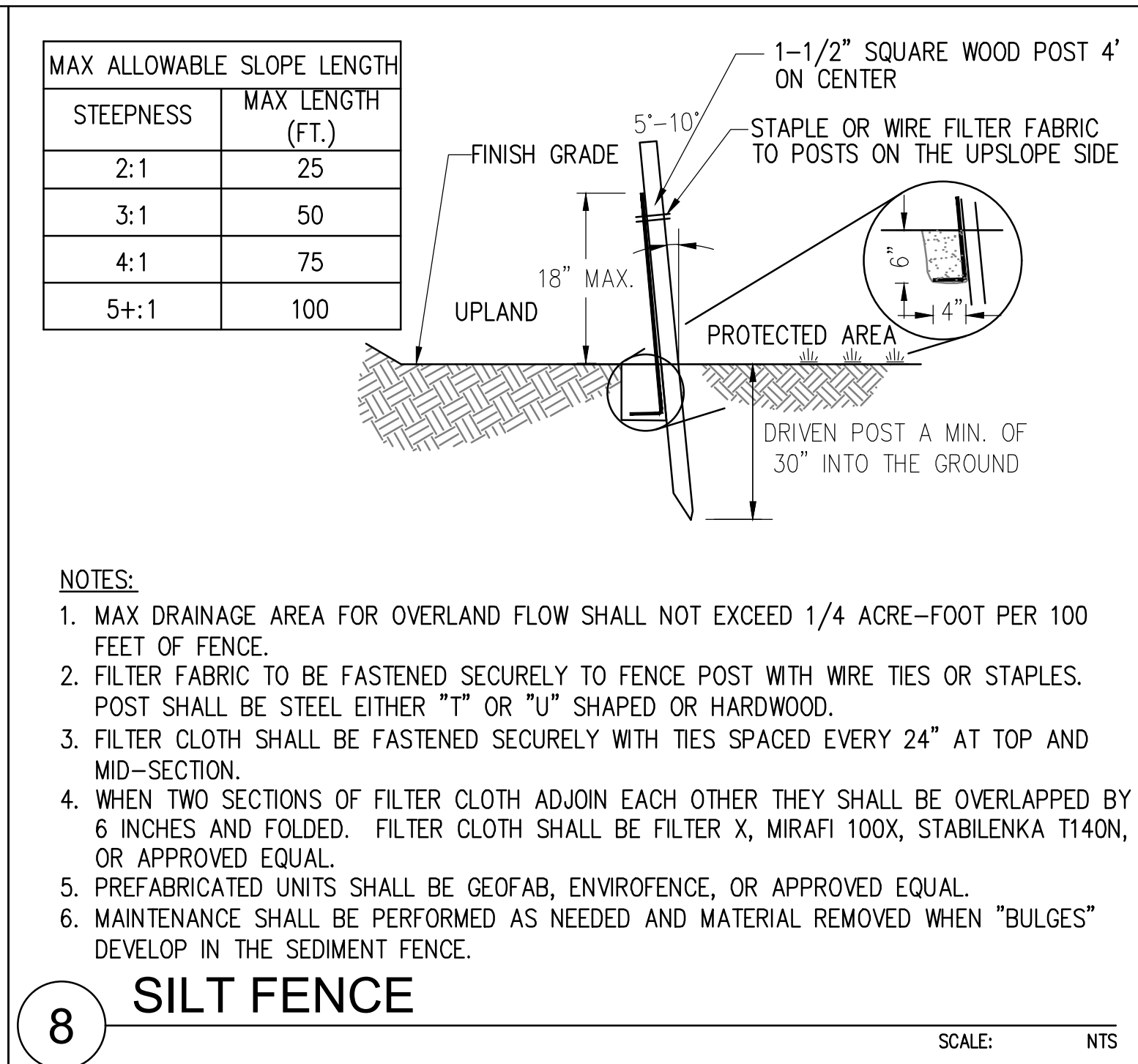


- NOTES:
1. SUBCONTRACTOR SHALL EXCAVATE TO SUITABLE MATERIAL FOR SUBGRADE.
 2. SUBCONTRACTOR SHALL COMPACT SUBGRADE TO PROVIDE SUITABLE SURFACE TO PLACE ROAD. REFER TO GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION CRITERIA.
 3. SUBCONTRACTOR SHALL FOLLOW MANUFACTURER INSTALLATION PROCEDURES.
 4. WHERE OVERLAPPING OF GEOTEXTILE FABRIC IS REQUIRED, SUBCONTRACTOR SHALL OVERLAP A MINIMUM OF 24 inches.
 5. SUBCONTRACTOR SHALL REMOVE TEMPORARY CONSTRUCTION ACCESS ROADS, AND RESTORE TO PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE CEOR AND THE GOVERNING AGENCIES.
 6. SUBCONTRACTOR SHALL INSTALL CONDUITS FOR ALL ELECTRICAL CONDUIT CROSSINGS PRIOR TO INSTALLATION OF THE GEOGRID MATERIAL. THE GEOGRID SHALL NOT BE HORIZONTALLY CUT ONCE INSTALLED.

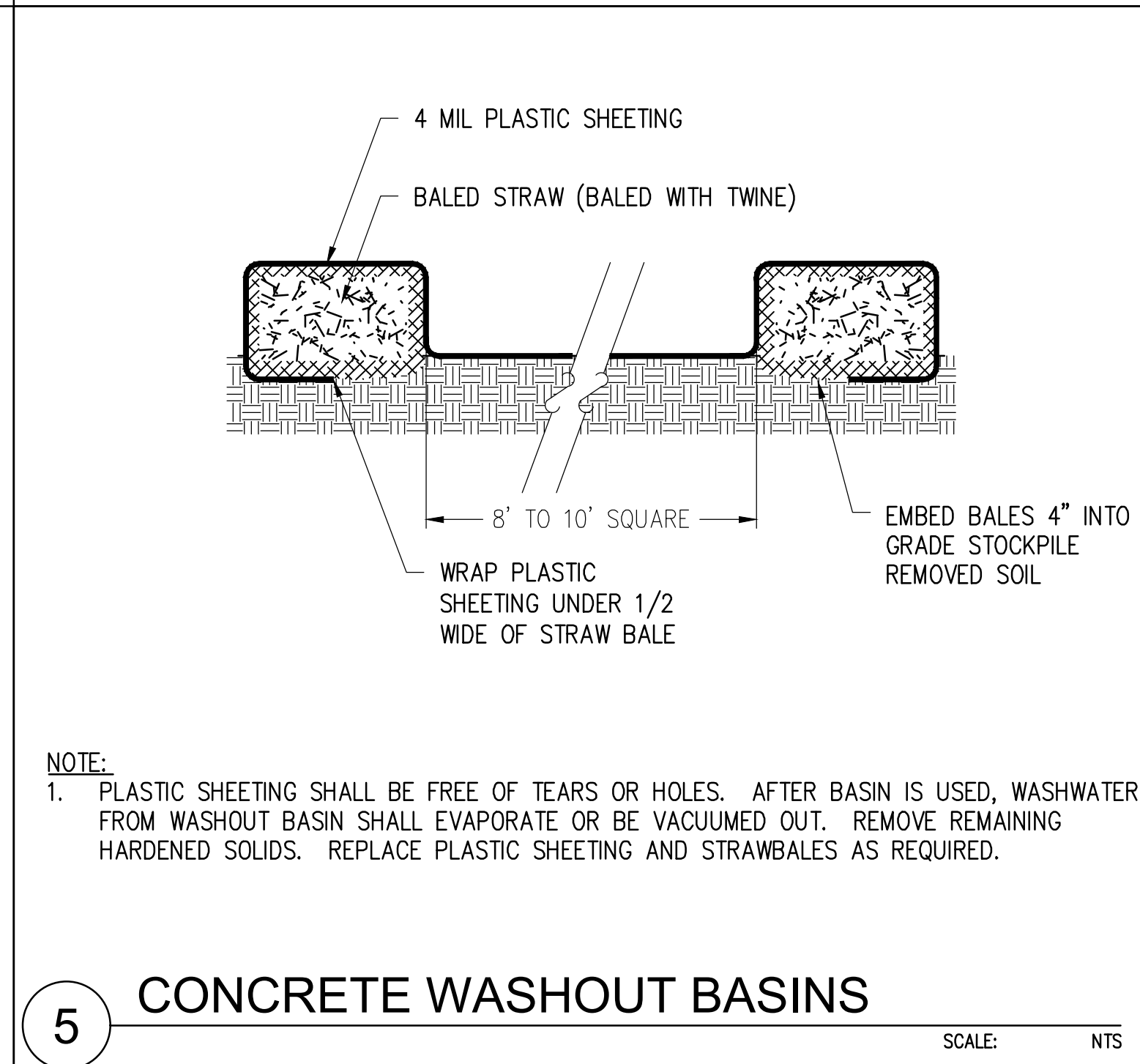
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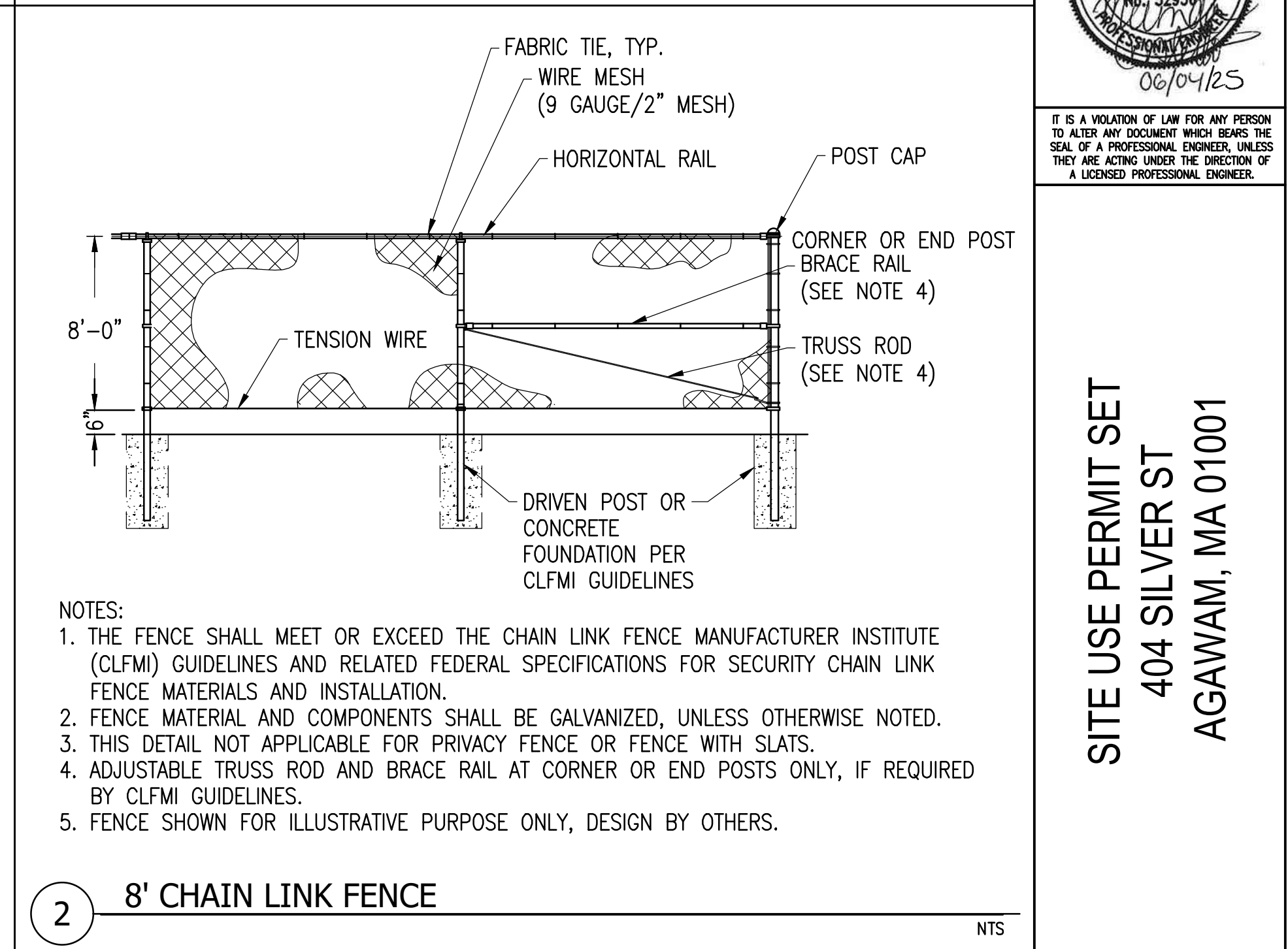
SCALE: N.T.S.



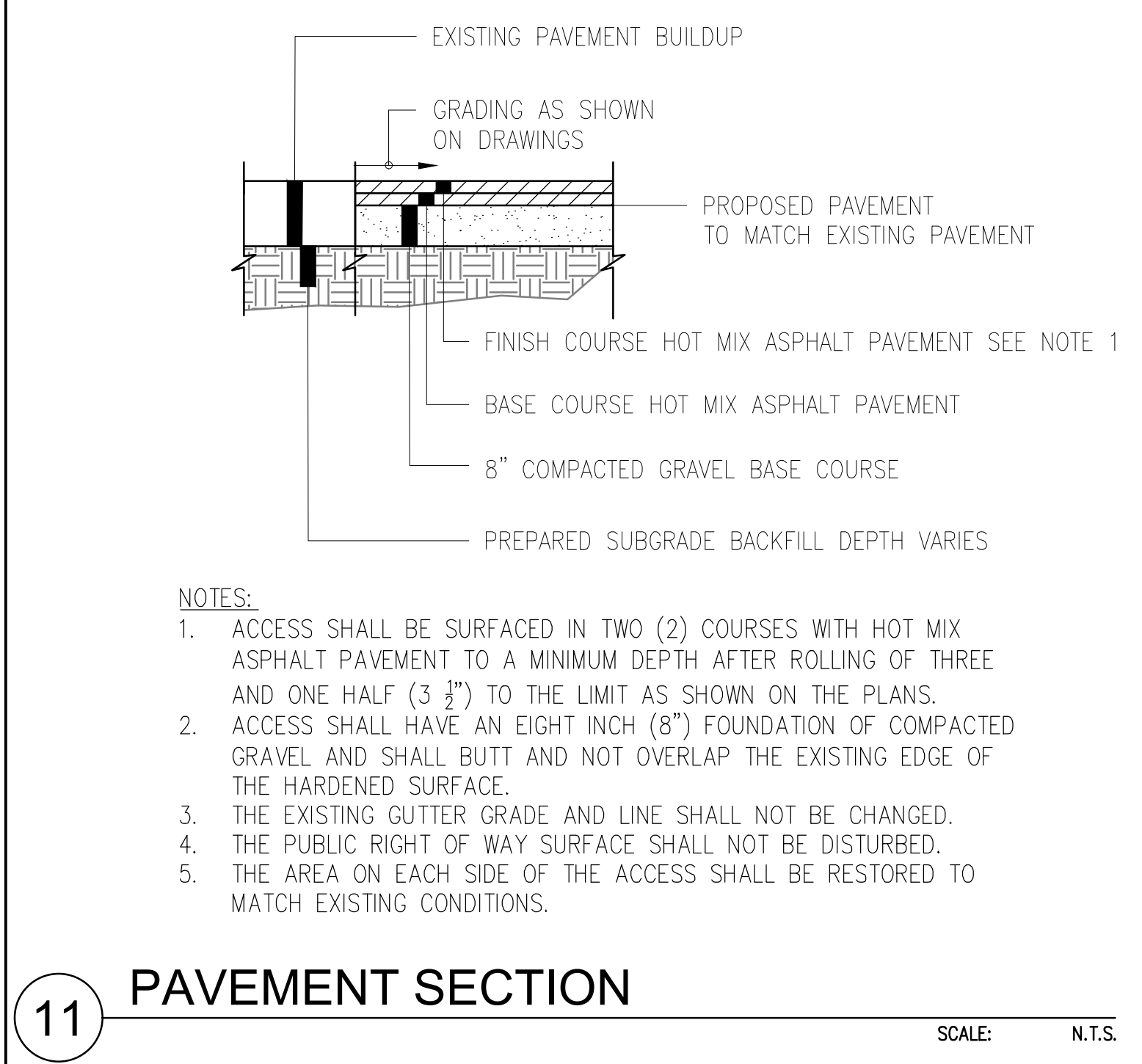
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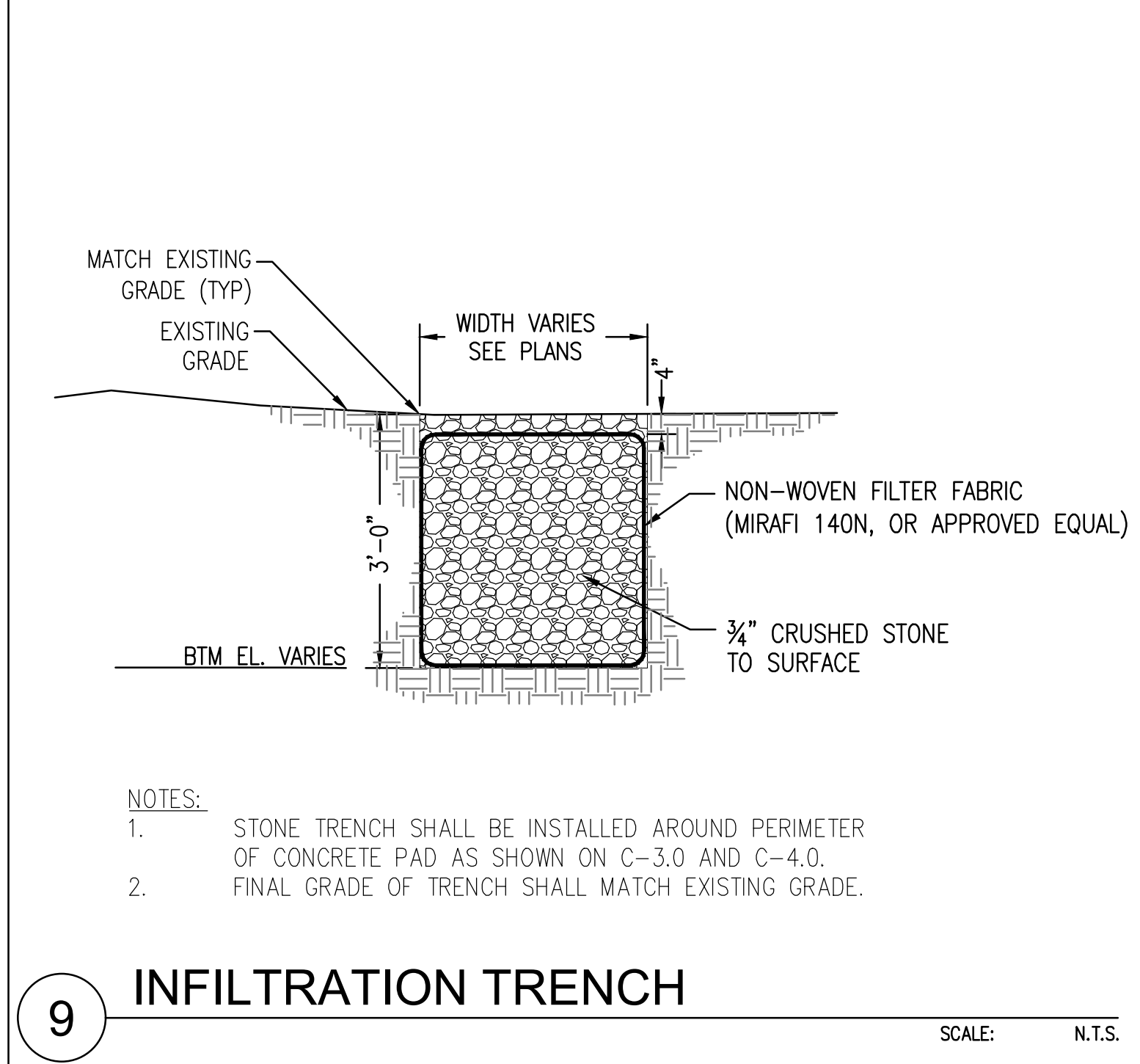
SCALE: NTS



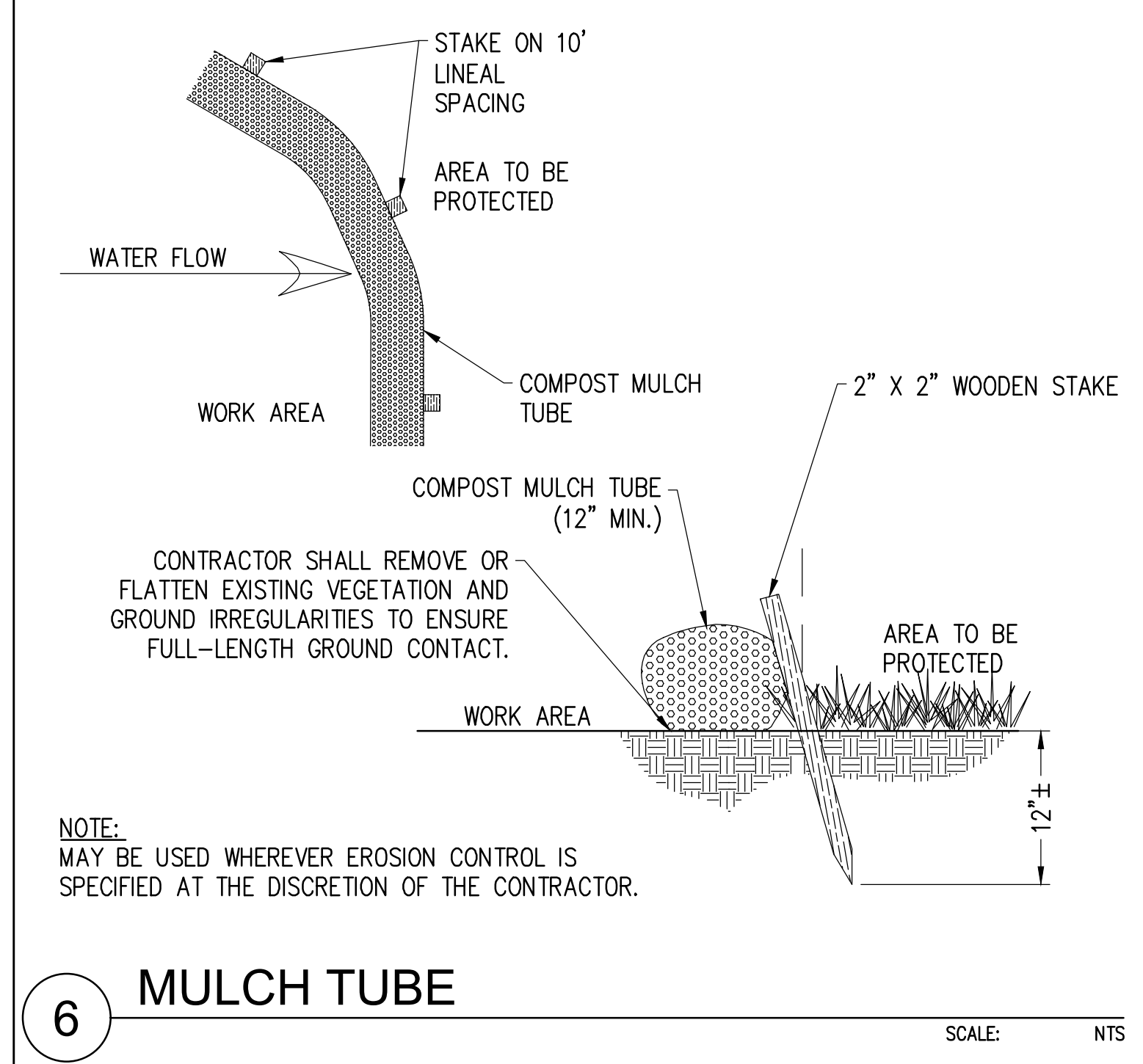
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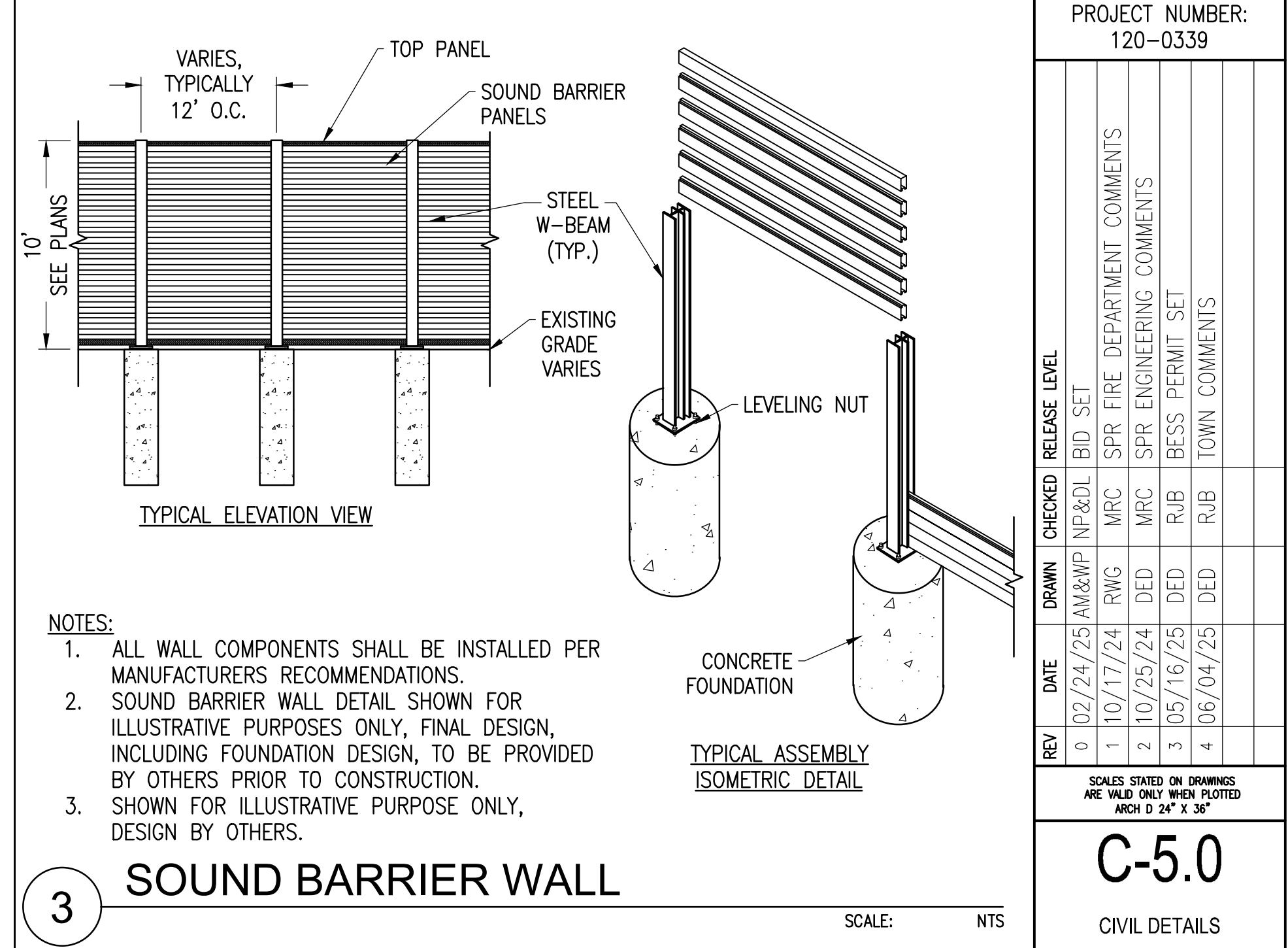
SCALE: N.T.S.



SCALE: N.T.S.



SCALE: NTS



SCALE: NTS

THIS DOCUMENT IS PROVIDED BY NEW LEAF ENERGY, INC. TO FACILITATE THE SALE OF THE RENEWABLE ENERGY PROJECT REPRESENTED HEREIN. REPRODUCTION, RELEASE OR UTILIZATION FOR ANY OTHER PURPOSE, WITHOUT PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.

new leaf energy

55 TECHNOLOGY DRIVE, SUITE 102
LOWELL, MA 01851
PHONE: (800) 818-5349
FAX: (888) 678-8991
WWW.NEWLEAFENERGY.COM

NOT FOR CONSTRUCTION

WELDON COSTELLO CIVIL
Professional Engineer
No. 52955
06/04/25

IT IS A VIOLATION OF LAW FOR ANY PERSON TO ALTER ANY DOCUMENT WHICH BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

SITE USE PERMIT SET
404 SILVER ST
AGAWAM, MA 01001

PROJECT NUMBER:
120-0339

REV	DATE	DRAWN	CHECKED	RELEASE LEVEL
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SCALES STATED ON DRAWINGS ARE VALID ONLY WHEN PLOTTED ASH 12" X 36"

C-5.0

CIVIL DETAILS

NOT FOR
CONSTRUCTION



IT IS A VIOLATION OF LAW FOR ANY PERSON TO ALTER ANY DOCUMENT WHICH BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER.

SITE USE PERMIT SET
404 SILVER ST
AGAWAM, MA 01001

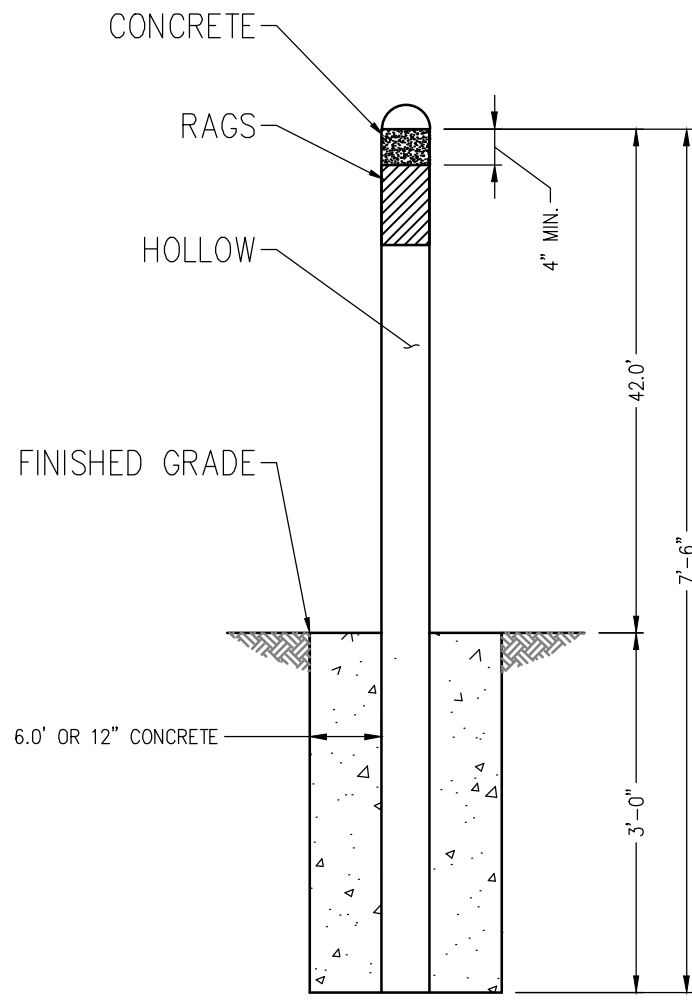
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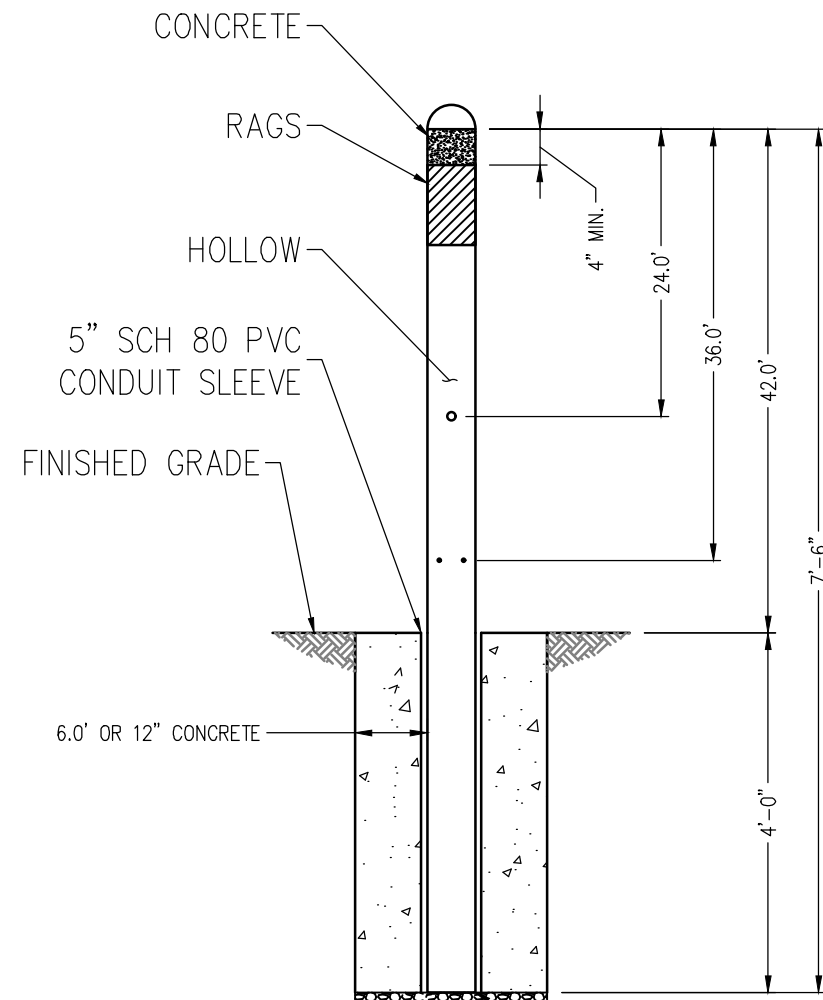
SCALES STATED ON DRAWINGS
ARE VALID ONLY WHEN PLOTTED
ARCH D 24" X 36"

C-5.1
CIVIL DETAILS

PERMANENT BOLLARD

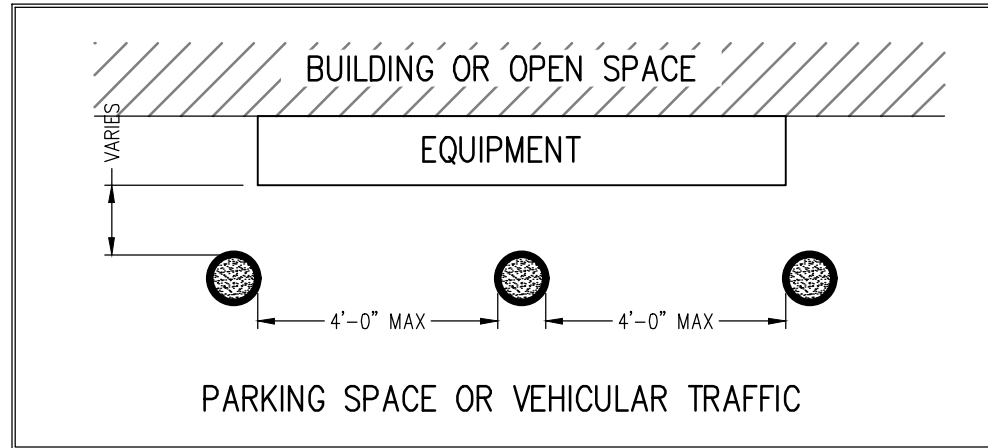


REMOVABLE BOLLARD



NOTE:

- BOLLARDS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY, FINAL DESIGN SHALL BE PROVIDED PRIOR TO CONSTRUCTION.



1

EQUIPMENT BOLLARD

SCALE: N.T.S.

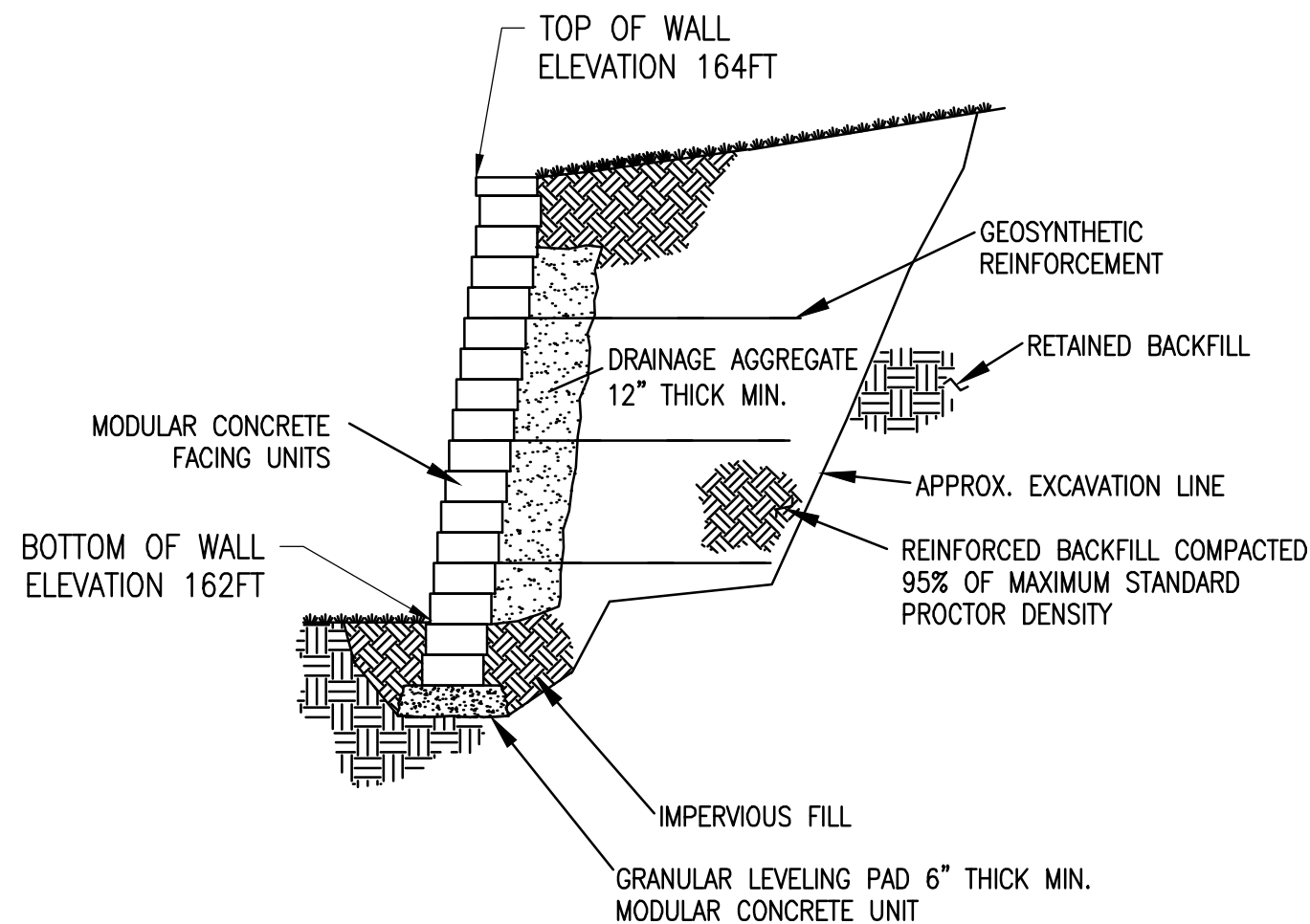
NOTE:

- DETAIL SHOWN FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR TO PROVIDE A SITE SPECIFIC DESIGN PREPARED BY AN LICENSED PROFESSIONAL ENGINEER IN MASSACHUSETTS WHO IS FAMILIAR WITH THE ACTUAL SITE CONDITIONS, MATERIALS AND LOCAL PRACTICES.

4

BLOCK WALL

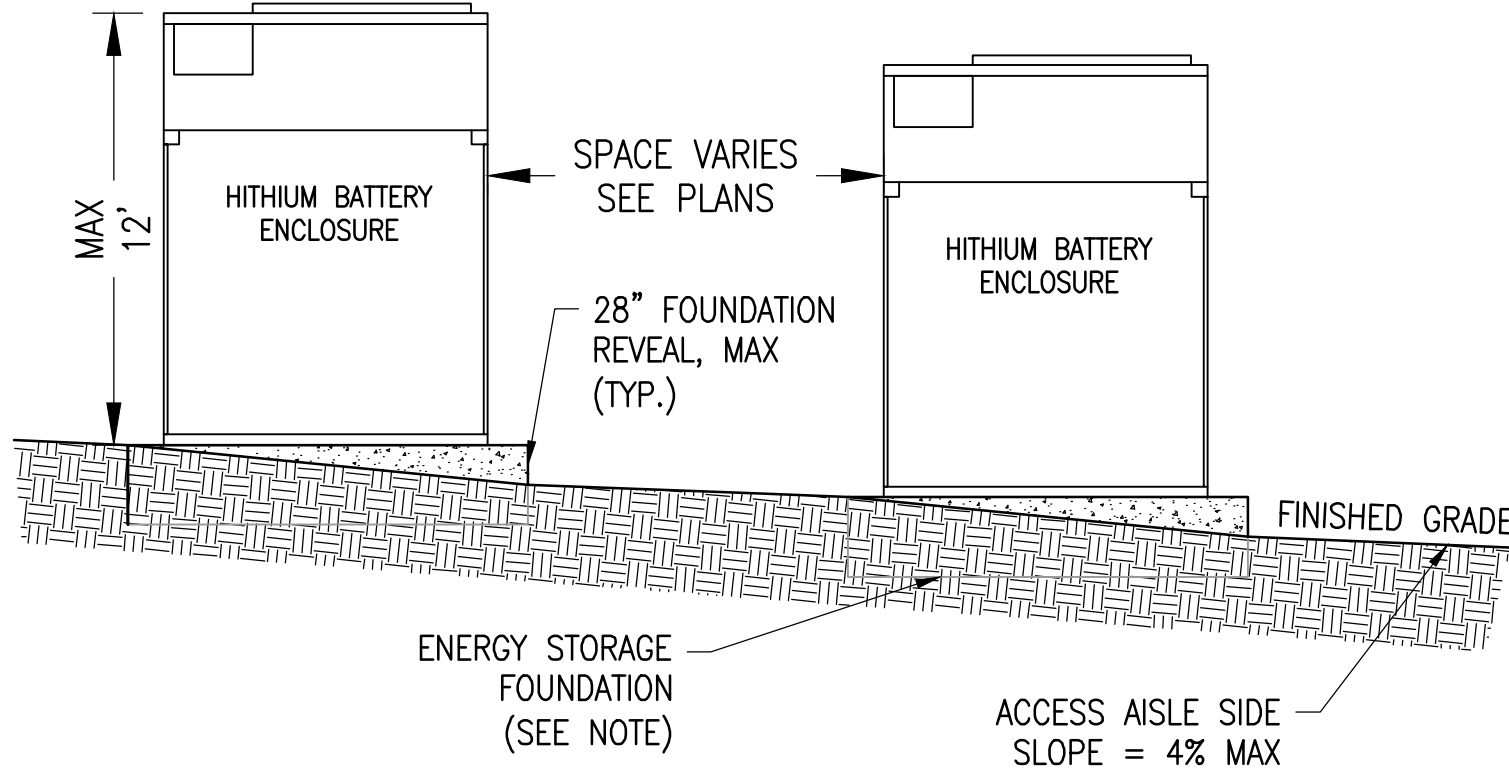
SCALE: NTS
2023-12-07



2

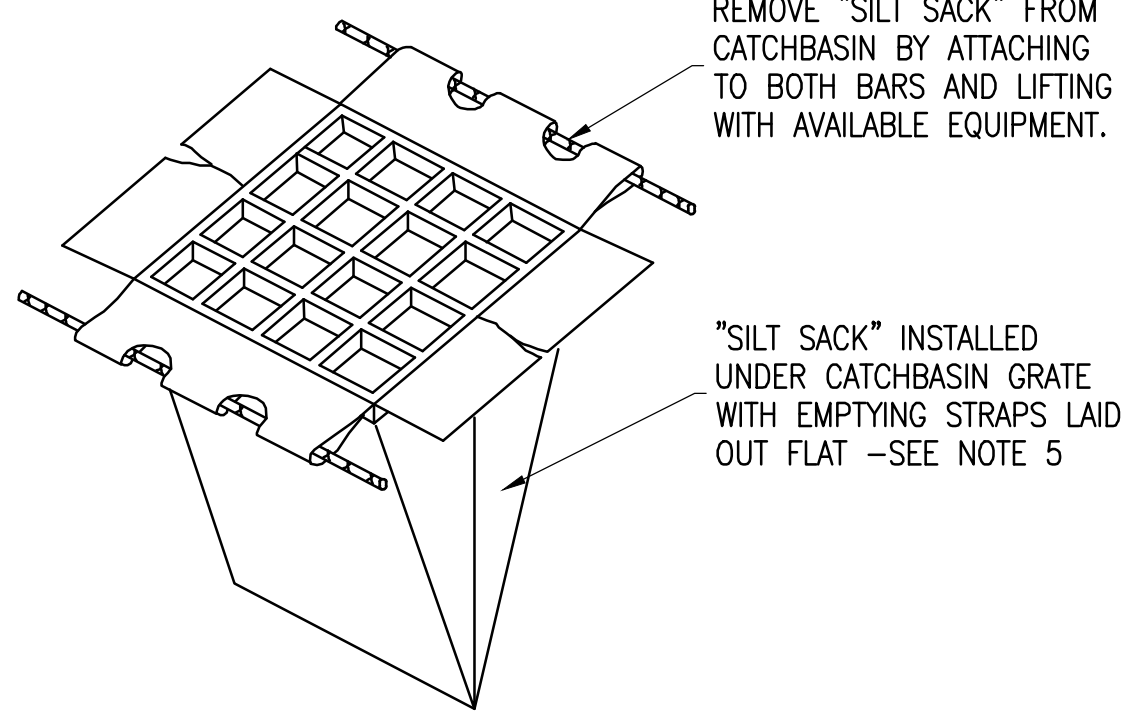
ENERGY STORAGE CROSS SECTION

SCALE: NTS
2023-12-07



NOTE

- DETAIL SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL EQUIPMENT LAYOUT AND FOUNDATION DESIGN TO BE PERFORMED BY OTHERS.



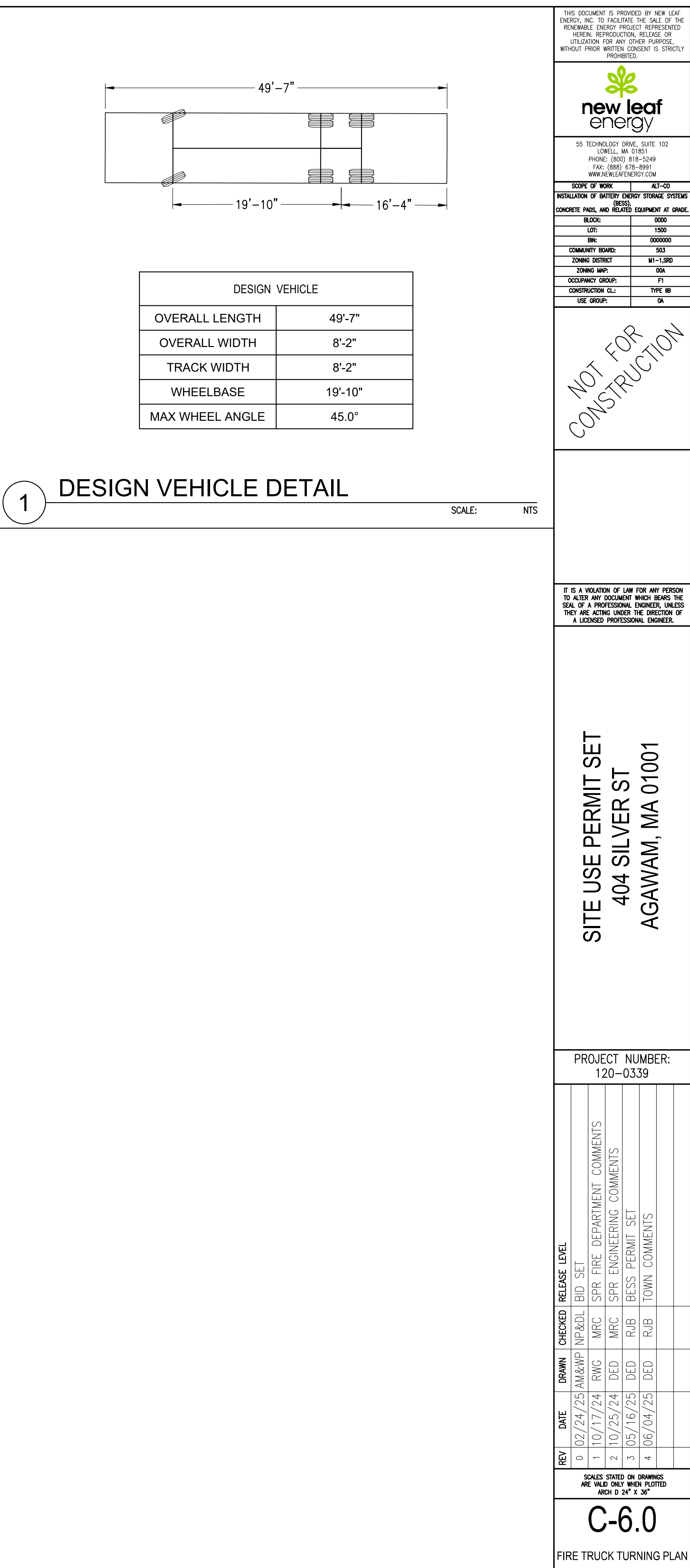
NOTES:

- REMOVE DRAIN GRATE AND INSERT "SILT SACK", MAKING SURE EMPTYING STRAPS ARE LAID FLAT OUTSIDE OF BASIN.
- REPLACE DRAIN GRATE TO HOLD "SILT SACK" INTO POSITION.
- AS "SILT SACK" BECOMES FULL OF SEDIMENT, REMOVE WITH FRONT END LOADER (OR OTHER SUITABLE EQUIPMENT) AND EMPTY IN AN APPROVED LOCATION.
- REPLACE EMPTIED "SILT SACK" BACK INTO CATCH BASIN.
- PRODUCT SHALL BE ACF ENVIRONMENTAL TYPE A SILT SACK OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

3

SILT SACK

SCALE: NTS





Kevin Duquette
Inspector of Buildings
inspections@agawam.ma.us

Town of Agawam
Inspection Services Department
1000 Suffield Street, Agawam, Massachusetts 01001
Telephone - (413) 821-0632

May 28, 2025

To: Office of Planning and Community Development:

Re: Site Plan Review Comments- 404 Silver Street Agawam, MA 01001:

Inspection Services has no zoning issues or concerns at this time for the proposed project for the above referenced address.

The following would need to be addressed for site plan review criteria;

- A Form-A (ANR) would be required to split the parcels for the proposed project.

Respectfully,

Kevin Duquette

Kevin Duquette
Inspector of Buildings
Town of Agawam



Town of Agawam

Department Of Public Works

DPW
1000 Suffield Street
Agawam, MA 01001
Phone: 413-821-0600
Fax: 413-821-0631

MEMORANDUM

To: Planning Board
CC: File
From: Engineering Division
Date: May 27, 2025
Subject: SP 667 – Proposed Battery Energy Storage System – #404 Silver Street

Per your request, we have reviewed the revised Site Plan Approval application for the Proposed Battery Energy Storage System to be located at #404 Silver Street; Prepared by Weston & Sampson; Dated: May 16, 2025. Based on our review, Engineering has the following comments:

1. As noted on Sheet C-3.0, the area of disturbance for the project has increased to 1.04 acres. In accordance with Chapter 175-22B(1) of the Agawam Town Code and Agawam Stormwater Regulations, a Stormwater Management Permit must be completed and submitted to the Town if a project will disturb one (1) acre or more of land.
2. Engineering is concerned that the proposed grading on the northeastern side of the gravel access driveway loop will be too steep for vehicles to travel. Also, there appears to be a 2:1 slope proposed for the north and east sides of the infiltration trench. This is likely to cause stormwater runoff to bypass the trench in these areas.
3. Engineering recommends the proposed sound barrier wall be extended along the southern side of the electrical equipment area to provide a buffer for the residence remaining at #404 Silver Street.

Engineering reserves the right to make additional comments as new information is submitted. If you have any questions, please do not hesitate to contact this division.

Sincerely,


Michelle C. Chase, P.E.
Town Engineer

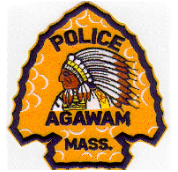

Michael F. Albro, P.E.
Assistant Town Engineer



AGAWAM POLICE DEPARTMENT

681 Springfield Street, Feeding Hills, MA 01030
Telephone (413)786-4767 | FAX (413)786-4821

Eric P. Gillis
Chief of Police



To: Planning Board

From: Sergeant Brian Machos- Safety Officer

Date: October 8, 2024

Re: 404 Silver Street

I do not have any issues with the proposed battery storage facility at the rear of the property at 404 Silver Street.

Site Plan Approval Application

Under the Town of Agawam Zoning Ordinance Section 180-13 Site Plans

Proposed Building Addition

Project Location:

223 Garden Street
Feeding Hills, Massachusetts 01030
(Parcel ID: G8-2-3)

Submitted To:

Town of Agawam Planning Board
36 Main Street
Agawam, Massachusetts 01001

Applicant & Property Owner:

MBNZ Holding Co.
c/o Mr. Nasser Zebian
223 Garden Street
Feeding Hills, Massachusetts 01030

RLA Project File No. 250214

April 17, 2025

R LEVESQUE ASSOCIATES, INC.

A LAND PLANNING SERVICES COMPANY

40 School Street, Westfield, MA 01085

p 413.568.0985 · f 413.568.0986 · www.rlaland.com



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1. COVER LETTER
2. ADMINISTRATIVE FORMS
 - 2.1 ZONING DETERMINATION
 - 2.2 SITE PLAN APPROVAL APPLICATION – FORM D
3. PROJECT NARRATIVE
4. LOCUS MAP
5. DEED REFERENCE

LIST OF APPENDICES

APPENDICES

APPENDIX A: SITE PLAN

APPENDIX B: ARCHITECTURAL DRAWINGS

I. COVER LETTER

R LEVESQUE ASSOCIATES, INC.

40 School Street, P.O. BOX 640, Westfield, MA 01085

p 413.568.0985 · f 413.568.0986 · www.rland.com



April 17, 2025

Violet Baldwin, Chairperson
Town of Agawam Planning Board
36 Main Street
Agawam, Massachusetts 01001

**RE: Site Plan Approval – Proposed Building Addition
223 Garden Street
Feeding Hills, Massachusetts 01030
(Parcel ID: G8-2-3)
RLA Project File No. 250214**

Dear Chairperson Baldwin and Board Members:

On behalf of the applicant and property owner, MBNZ Holding Co. c/o Mr. Nasser Zebian, please find the requisite number of copies of a Site Plan Approval application and supporting documentation. The applicant proposes a building addition with associated site improvements to be located at the above-referenced property.

As required, a copy of this Site Plan Approval submission has been submitted electronically via email to the Town of Agawam Planning Department.

We are requesting to be placed on the Planning Board's next available agenda. Should you have any questions or comments regarding this submission, please do not hesitate to contact our office at your earliest convenience.

Sincerely,
R LEVESQUE ASSOCIATES, INC.

Nina Fazio

Nina Fazio
Permitting Coordinator

A LAND PLANNING SERVICES COMPANY

2. ADMINISTRATIVE FORMS

2.1 ZONING DETERMINATION

2.2 SITE PLAN APPROVAL APPLICATION – FORM D



The Commonwealth of Massachusetts
Town of Agawam
Inspection Services - Building Department
1000 Suffield Street, Agawam MA 01001 – (413) 821-0632

OFFICE ONLY Date Filed: RECEIVED BY INSPECTION SERVICES APR 10 2025 TOWN OF AGAWAM
--

Application for Zoning Determination

FILING INSTRUCTIONS: Deliver this form (no fee required) to Inspection Services.

For digital submissions, please confirm receipt. A complete application will be processed within 30 days.

The applicant must pick-up, or arrange for the receipt of, this processed form.

1) PROPERTY INFORMATION										
a. Street Address		223 Garden Street				b. Zoning District		Business B		
c. Assessor's Map		G8-2				d. Lot(s)		3		
e. Registry of Deeds Book		24996				f. Page		11		
g. Overlay Districts		☐ Historic Preservation ☐ Mixed-Use Business C								
h. Previous Special Permits, Site Plan Approvals, Findings or Variances Issued for this Site										
Unknown										
2) APPLICANT & OWNER INFORMATION										
a. Applicant Name		MBNZ Holding Co. c/o Nasser Zebian				b. Applicant Phone		413-427-2766		
c. Applicant Email		nasserzebian@hotmail.com								
d. Applicant Mailing Address		223 Garden Street, Feeding Hills, MA 01030								
e. Applicant Relationship to Property		☒ Owner ☐ Agent ☐ Other:								
f. Representative Name (if any)		R Levesque Associates, Inc.				g. Rep. Phone		413-568-0985		
h. Rep. Email		NinaF@rlaland.com								
i. Owner Mailing Address										
j. Owner Name (if different)		Same as applicant				k. Owner Phone				
l. Owner Email										
m. Owner Mailing Address										
3) PROJECT & SITE DETAILS										
<i>NOTE: Any omission of requested information may result in an INCOMPLETE determination</i>										
	Existing				Proposed				-FOR BUILDING DEPT. REVIEW- REQUIRED / NCU	
	☐ No changes to building, site or lot									
a. Lot Size	73,961	SF	73,961	SF	LOT SIZE				☐	
b. Frontage	254.36	FT	254.36	FT	FRONTAGE				☐	
c. Front Lot Line	75.6	FT	75.6	FT	FRONT SB				☐	
d. Side Lot Line (Left/Right)	L: FT 61.0	R:	FT	L: 43.6	FT	R: 43.6	FT	SIDE SB	☐	
e. Rear Lot Line	126.5	FT	103.5	FT	REAR SB				☐	
f. Building Height	1.5 stories	FT	1.5 stories	FT	BLDG HT				☐	
g. Total BLDG/Res Area	5070	SF	0	SF	8320	SF	0	AREA LIM	☐	
h. BLDG Coverage (Footprint)	5070	SF	7.8	% of lot	8320	SF	12.1	% of lot	LOT COVER	☐
i. Impervious Coverage	26800	SF	36.2	% of lot	26800	SF	36.2	% of lot	IMPERVIOUS	☐
j. Parking/Loading Spaces	P: 33	L:	P: 33	L:	PARKING				☐	
k. Bicycle/EV Charge Spaces	B: 0	EV: 0	B: 0	EV: 0	BIKE/EV				☐	
l. Signs (Size & Type)	x	T: Free-standing	x	T: TBD	SIGNS				☐	
m. Fence (Size & Type)	LIN FT	T:	LIN FT	T: TBD						
n. Wetland Area	0	SF	0	SF						
o. Utility Services	☒ Town Water	☒ Town Sewer	☒ Town Water	☒ Town Sewer	NON-CONFORMING USE ☐					

p. Current Use of Property	Vermette Autobody
q. Proposed Use of Property	Vermette Autobody
r. Project Description	
The applicant proposes a building addition to be utilized by the existing on-site business. (3,250 Sq ft)	
s. I have attached additional narrative, plans or supporting materials (any oversize plans should also be included in an 8.5 x 11" format)	☒ Yes ☐ No
t. Work is proposed in or within 100' of a wetland or 200' of a stream/river, or construction will occur within the Floodplain district. If so, CONSERVATION COMMISSION review is required.	☐ Yes ☒ No ☐ Unsure
u. The following projects shall be required to comply with the requirements of a <u>STORM DRAIN PERMIT</u>: [1] Any alteration to sites on parcels of one acre or greater. [2] Any alteration to individual lots less than one acre, but which are contiguous or are deemed part of a common project which is one acre or greater.	☐ Yes ☒ No ☐ Unsure
v. The project will affect at least one of the following; additional gross floor area by 2,000 square feet, any change of use, changes to parking and/ or curb cuts.	☒ Yes ☐ No

4) CERTIFICATION	
<i>This determination is based only on the information provided, which I represent as accurate. The issuance of a Zoning Determination does not relieve the Applicant of the responsibility to obtain other zoning or non-zoning permits, as may be required, and this determination is based on the zoning in effect at the issue date and grants no protection from any pending or future zoning changes. Additional information may be requested and required to properly process this form. Any non-zoning related comments provided are cursory in nature; Applicants should follow-up with appropriate Town Departments. Sec. 1-7 of the Town of Agawam's General Ordinances authorizes the denial of a license or permit where an outstanding debt or obligation to the Town exists.</i>	
Signature	<i>Nina Fazio</i>
☐ Applicant	☒ Applicant's Representative
Date	04-09-2025

ZONING DETERMINATION - OFFICE USE ONLY			
☐ Approved ☐ Denied:		☐ The proposed use is not permitted in the subject zoning district ☐ Only permissible with variance relief from the Zoning Board of Appeals	
☒ Approved Pending additional approval:			
Per Zoning Ordinance Section(s)	Required Permit(s)	Approval Required	Permitting Authority
4180-13-B	☒ Building Permit(s) ☒ Electrical Permit(s) ☒ Plumbing/Gas Permit(s)	☐ Special Permit(s) ☒ Site Plan Review ☐ Variance	☒ Planning Board ☐ Board of Appeals ☐ City Council
Town Building Official	<i>Ken D...</i>	Issue Date	4/11/2025

This determination may be appealable to the Zoning Board of Appeals under the provisions of MGL Ch. 40A Sec. 8.
 Draft Plan - dated 4/8/2025
 Revised 09/08/2022

TOWN OF AGAWAM, MASSACHUSETTS

FORM D

Application for Site Plan Approval

Please complete the following form and electronically submit with site plans, completed Zoning Determination and Storm Water Management Report to: siteplan@agawam.ma.us in addition to sending four (4) hard copies of the Site Plan and one (1) hard copy of the Storm Water Management Report and completed Zoning Determination to:

Agawam Planning Department

36 Main Street

Agawam, MA 01001

____ April 17 ____ 20 25 ____

1. Name of Business Vermette Auto Body

Address 223 Garden Street, Feeding Hills, MA 01030

Phone # 413-427-2766 email nasserzebian@hotmail.com

2. Name of Applicant/Owner MBNZ Holding Co. c/o Mr. Nasser Zebian

Address 223 Garden Street, Feeding Hills, MA 01030

Phone # 413-427-2766 email nasserzebian@hotmail.com

3. Name of Engineer/Architect R Levesque Associates, Inc.

Address 40 School Street, Westfield, MA 01085

Phone # (413) 568-0985 email ninaf@rlaland.com

4. Please give a brief description of the proposed project:

The applicant proposes a building addition adjacent to the existing auto body shop at the subject property. Please refer to the attached project narrative for greater detail.

3. PROJECT NARRATIVE

PROJECT NARRATIVE

For

PROPOSED BUILDING ADDITION
223 GARDEN STREET
FEEDING HILLS, MASSACHUSETTS 01030
(PARCEL ID: G8-2-3)

INTRODUCTION

On behalf of the applicant and property owner, MBNZ Holding Co. c/o Mr. Nasser Zebian, R Levesque Associates, Inc. is providing this project narrative as a supplement to the Site Plan Approval application. The applicant proposes a building addition adjacent to the existing auto body shop on the subject property.

In accordance with Section 180-13(B)(1), the applicant requests Site Plan Approval from the Planning Board for the construction of a new commercial structure.

PROPERTY DESCRIPTION

The subject property is located north of Garden Street and consists of approximately 1.6 ± acres as shown on the associated site plan set prepared by R Levesque Associates, Inc. Said property is recorded in the Hampden County Registry of Deeds in Book 24996, Page 11. A copy of the deed reference is included within this application packet under Section 5. According to the Town of Agawam Zoning Map, the subject property is located within the Business B (BB) zoning district. A Locus Map is included within this application packet under Section 4.

EXISTING CONDITIONS & SURROUNDING LAND USES

The subject property currently operates as an auto body / repair shop, Vermette Auto Body, with associated parking, access drives, and site improvements.

The subject property is bound to the north by parcels in the Industrial B (IB) zoning district, to the east by parcels in the Business B (BB) zoning district, to the south by Garden Street, and to the west by a Route 57 on-ramp. The abutting parcels are utilized mostly for commercial and industrial uses, with some residential uses in the surrounding area.

DETAILED PROJECT DESCRIPTION

The proposed project includes a building addition with associated site improvements. Associated site improvements include, but are not limited to site grading, relocation of existing sheds, and extension of utilities from the existing structure.

The proposed project work will proceed in the following general sequence:

1. Installation of erosion controls;
2. Relocation/removal of existing sheds;
3. Clearing, grubbing within the permitted limit of work;
4. Installation of a 65' x 50' building addition;
5. Restriping of existing parking spaces;
6. Extension of exiting utility connections;
7. Removal of erosion controls at the direction of the Town of Agawam.

STORMWATER MANAGEMENT

The proposed building addition will be constructed on an area of the property that is currently impervious surface. As such, the total impervious area of the subject property will remain unchanged, and there will be no net increase in impervious coverage as a result of the proposed site improvements.

PARKING & SITE CIRCULATION

Under the Town of Agawam Parking Guidelines, "automotive repair garage" requires one (1) parking space for each 300 SF of gross floor area and one (1) parking space for each employee. Based on this guideline, the proposed project requires 36 parking spaces. The applicant proposes 36 parking spaces, including two (2) of which are handicap and van accessible. There are no proposed changes to the existing curb cut along Garden Street.

UTILITIES

Utility connections to the proposed building addition will be pulled from the existing structure. Final building utility connections will be coordinated with final architectural/mechanical plans and are subject to modification as necessary.

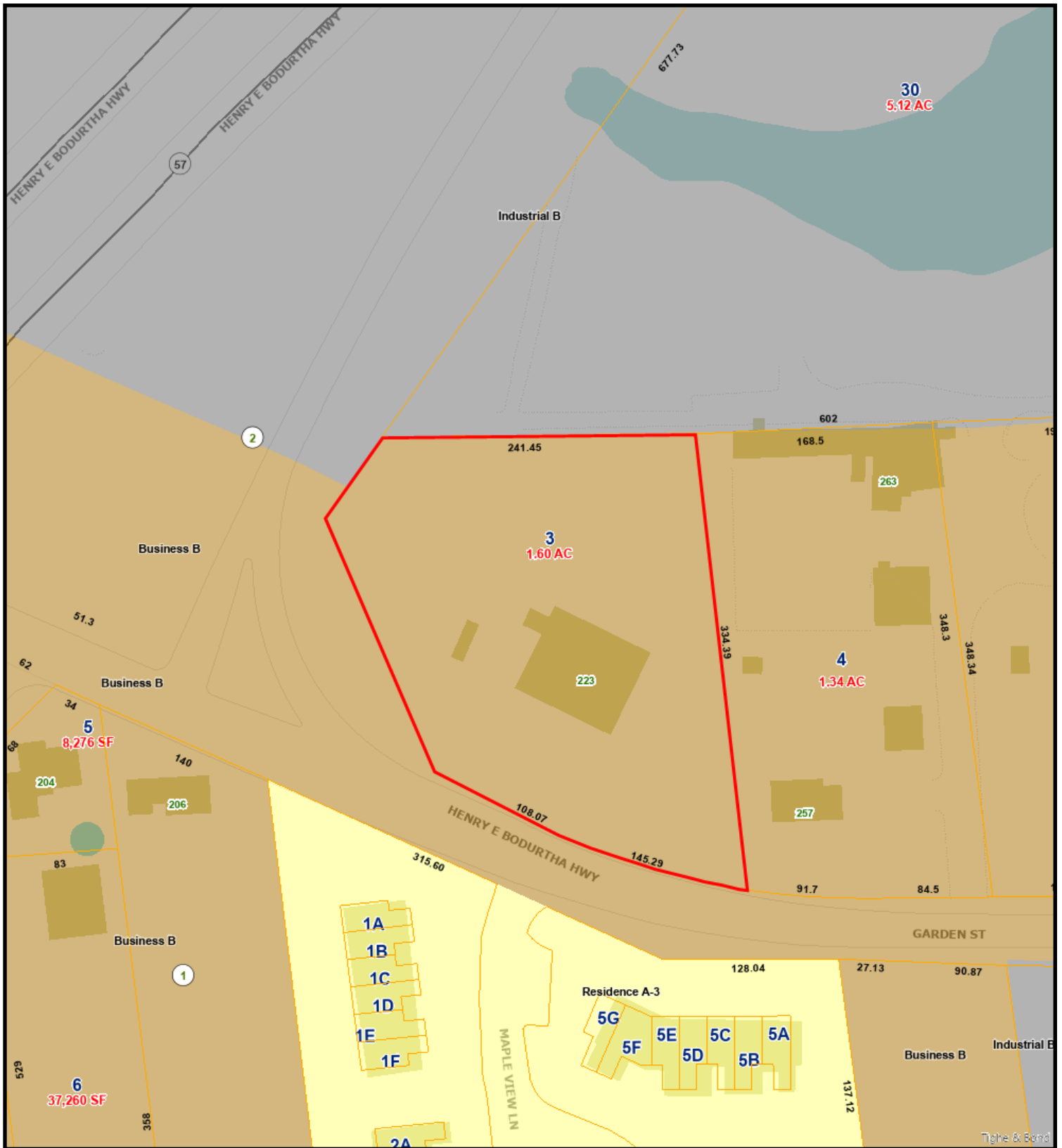
LANDSCAPING & LIGHTING

There are no proposed changes to the existing landscaping and site lighting on the subject property.

[END OF PROJECT NARRATIVE]

4. LOCUS MAP

(SOURCE: TOWN OF AGAWAM GIS)



Locus Map

2/27/2025 2:15:38 PM

Scale: 1"=100'

Scale is approximate

The information depicted on this map is for planning purposes only.
It is not adequate for legal boundary definition, regulatory
interpretation, or parcel-level analyses.



5. DEED REFERENCE

(SOURCE: HAMPDEN COUNTY REGISTRY OF DEEDS)

MASSACHUSETTS STATE EXCISE TAX
HAMPDEN COUNTY REGISTRY OF DEEDS
Date: 05-05-2023 @ 02:21pm
Ctl#: 262 Doc#: 20527
Fee: \$2,964.00 Cons: \$650,000.00

QUITCLAIM DEED

KNOW ALL MEN BY THESE PRESENTS THAT DONALD J. VERMETTE a/k/a DONALD H. VERMETTE and REBECCA A. VERMETTE, individuals residing at 119 Hamilton Circle, Feeding Hills, Hampden County, Massachusetts, in consideration of Six Hundred Fifty Thousand and 00/100 Dollars (\$650,000.00) paid, grants to MBNZ HOLDING CO., a Massachusetts corporation with an address of 223 Garden Street, Feeding Hills, Hampden County, Massachusetts, with quitclaim covenants, the land in Agawam, Hampden County, Massachusetts, being more particularly bounded and described as follows:

See Exhibit A attached hereto and incorporated herein.

[SIGNATURE PAGE TO FOLLOW]

Property address: 223 Garden Street, Agawam, Massachusetts

Witness our hands and seals this 5th day of May, 2023.

[Signature]
Witness

[Signature]
Witness

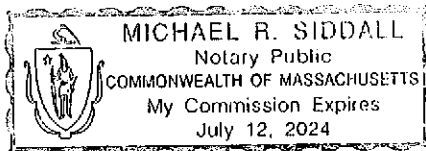
[Signature]
Donald J. Vermette a/k/a Donald H. Vermette

[Signature]
Rebecca A. Vermette

COMMONWEALTH OF MASSACHUSETTS

HAMPDEN, ss.

On this 5th day of May, 2023, before me, the undersigned notary public, personally appeared Donald J. Vermette a/k/a Donald H. Vermette, proved to me through satisfactory evidence of identification, which was ☒ photographic identification with signature issued by a federal or state governmental agency, namely a Massachusetts driver's license, ☐ personal knowledge of the undersigned, ☐ oath or affirmation of a credible witness, to be the person whose name is signed on the preceding or attached document, and who swore, subscribed and affirmed to me that the contents of the document are truthful and accurate to the best of his knowledge and belief and that he signed the document voluntarily for its stated purpose.

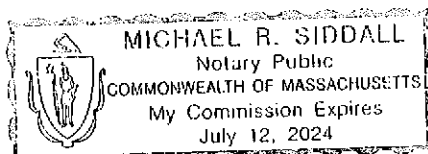


[Signature]
Michael R. Siddall
Notary Public
My Commission Expires: July 12, 2024

COMMONWEALTH OF MASSACHUSETTS

HAMPDEN, ss.

On this 5th day of May, 2023, before me, the undersigned notary public, personally appeared Rebecca A. Vermette, proved to me through satisfactory evidence of identification, which was ☒ photographic identification with signature issued by a federal or state governmental agency, namely a Massachusetts driver's license, ☐ personal knowledge of the undersigned, ☐ oath or affirmation of a credible witness, to be the person whose name is signed on the preceding or attached document, and who swore, subscribed and affirmed to me that the contents of the document are truthful and accurate to the best of her knowledge and belief and that she signed the document voluntarily for its stated purpose.



[Signature]
Michael R. Siddall
Notary Public
My Commission Expires: July 12, 2024

EXHIBIT A

The land in Agawam, Hampden County, Massachusetts, known as Garden Street, more particularly described as Parcel A on a plan of land entitled "Plan of Land in the Town of Agawam – Massachusetts, Hampden County Owned by Jerry L. Zerra and Rose Z. Dyke", prepared by Durkee, White, Towne & Chapdelaine, Civil Engineers & Land Surveyors, dated July 20, 1988 and recorded in the Hampden County Registry of Deeds in Book 319, Page 43, and more particularly bounded and described as follows:

Beginning at a point on the northerly side of Garden Street on the southwesterly corner of land now or formerly of Norman J. McMahon and Joan M. McMahon, thence N 64° 13' 39" W along a curve having a radius of 570.00, a length of one hundred forty-five and 29/100 (145.29) feet to a found GSB; thence continuing along Garden Street a distance of one hundred eight and 07/100 (108.07) feet to a found GSB, thence N 22° 51' 14" W, along land identified as Parcel No. 3 – 71, as shown on said plan a distance of one hundred ninety-eight and 26/100 (198.26) feet to a GSB found; thence N 36° 04' 36" E, along Route 57, 120-7192 L O, Layout No. 6562 as shown on said plan a distance of sixty-seven and 56/100 (67.56) feet to a point, thence turning N 88° 33' 06" E a distance of two hundred forty-one and 45/100 (241.45) feet to an iron pin found; thence S 05° 26' 15" E, a distance of three hundred thirty-four and 39/100 (334.39) feet to the place of beginning.

Being the same premises conveyed to Donald H. Vermette and Rebecca A. Vermette by deed of Rose Z. Dyke, Paul Zerra, Valrye Zerra and W.C. Conlin, dated June 2, 2000 and recorded in the Hampden County Registry of Deeds in Book 11413, Page 415.

APPENDIX A: SITE PLAN

SITE PLAN ENTITLED "PROPOSED SITE IMPROVEMENTS"

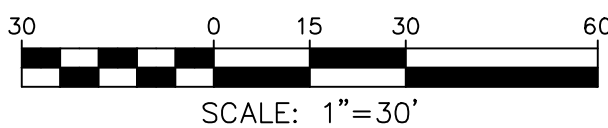
PREPARED FOR VERMETTE AUTO BODY

PREPARED BY R LEVESQUE ASSOCIATES, INC.

DATED APRIL 16, 2025

APPENDIX B: ARCHITECTURAL DRAWINGS

TYPE (MINIMUM)	REQUIRED	EXISTING	PROPOSED
AREA	10,000 S.F.	73,961 S.F.	73,961 S.F.
FRONTAGE	100 FT	254.36'	254.36'
FRONT YARD	35 FT	75.6'	75.6'
SIDE YARD	10 FT	61.0'	43.6'
REAR YARD	35 FT	126.5'	103.5'
HEIGHT (MAX)	45 FT (3 STORIES)	1.5 STORIES	1.5 STORIES
BUILDING COVERAGE (MAX)	50%	±7.8%	±12.1%
REQUIRED PARKING *	36	36	36



1. THE RECORD OWNER OF THE SUBJECT PARCEL IS MBNZ HOLDING CO. SEE HAMPDEN COUNTY REGISTRY OF DEEDS BOOK 24996 PAGE 11.
2. THE PROPERTY LINES SHOWN HEREON ARE BASED UPON A PLAN RECORDED IN THE HAMPDEN COUNTY REGISTRY OF DEEDS IN PLAN BOOK 319 PAGE 43.
3. THE EXISTING BUILDING(S) SHOWN HEREON ARE BASED ON AN APPROXIMATE MEASUREMENT OF THE OUTSIDE PERIMETER OF THE EXISTING STRUCTURES. THE ACTUAL LOCATION OF THE EXISTING BUILDING WALLS AND CORNERS SHOULD BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION WORK THAT WOULD ABUT OR TAKE PLACE ADJACENT TO THE EXISTING BUILDING(S). IF THE PLAN HEREON IS USED FOR CONSTRUCTION LAYOUT PURPOSES, THE PARTIES CONDUCTING LAYOUT SHALL CONTACT R. LEVESQUE ASSOCIATES INC. PRIOR TO SAID LAYOUT TO DETERMINE PROPER CONTROL. PLEASE NOTE WHILE THE BUILDING(S) ARE SHOWN TO BE SQUARE, IT SHOULD NOT BE ASSUMED THAT THE WALLS ARE SQUARE OR PLUMB. R. LEVESQUE ASSOCIATES TAKES NO RESPONSIBILITY FOR THIRD PARTY LAYOUT OF THE PLAN SHOWN HEREON.
4. THIS PLAN HAS BEEN PREPARED FOR SITE PLANNING PURPOSES AND SHALL NOT BE USED FOR THE CONVEYANCE OF LAND OR FOR ANY OTHER USE.
5. SUBJECT PARCEL CONTAINS 73,961 S.F.
6. THE SUBJECT PROPERTIES SHOWN HEREON MAY BE SUBJECT TO RIGHTS AND EASEMENTS AS CONTAINED IN THE VARIOUS DEEDS OF RECORD DESCRIBING SAID PROPERTIES. THE LOCATION AND EXTENT OF ANY SUCH RIGHTS AND EASEMENTS IS NOT THE SUBJECT OF THIS PLAN.
7. THE OFFSITE BORDERING VEGETATED WETLANDS AND PERENNIAL STREAM DEPICTED HEREON WERE FLAGGED BY R LEVESQUE ASSOCIATES INC. AND LOCATED VIA RTK GPS SURVEY ON APRIL 14, 2025.
8. THE EXISTING CONDITIONS INFORMATION SHOWN IS BASED UPON A TOPOGRAPHIC SURVEY PERFORMED BY R LEVESQUE ASSOCIATES, INC. ON MARCH 12, 2025.
9. THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION, DIGSAFE MARKINGS AND AVAILABLE RECORD DATA. R LEVESQUE ASSOCIATES, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. R LEVESQUE ASSOCIATES, INC. FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HERE ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION.
10. ABUTTERS DEPICTED HEREON ARE TAKEN FROM THE TOWN OF AGAWAM MUNICIPAL GIS WEBSITE
11. SUBJECT PARCEL IS ZONED BUSINESS B ACCORDING TO THE TOWN OF AGAWAM ZONING MAP.
12. THE SUBJECT PARCEL IS NOT LOCATED WITHIN A SPECIAL FLOOD ZONE AREA ACCORDING TO FLOOD INSURANCE RATE MAP NUMBER 25013C0383E - EFFECTIVE DATE: JULY 16, 2013.
13. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN NATURAL HERITAGE & ENDANGERED SPECIES PROGRAM (NHESP) JURISDICTION.

**223 GARDEN STREET - PARCEL G8 2 3
AGAWAM, MASS.**



ISSUANCE DATE: April 15, 2025

REVISIONS:	DATE:
------------	-------

DRAFTED BY: J.L. & J.W.M.

UNAUTHORIZED ALTERATION OF
THIS DOCUMENT IS A VIOLATION
OF MASSACHUSETTS STATE LAW

SCALE: 1" = 30'

RLA PROJ. NUMBER: 250214

DRAWING#	REV.
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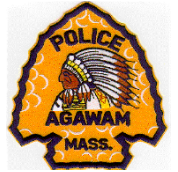
C-1



AGAWAM POLICE DEPARTMENT

681 Springfield Street, Feeding Hills, MA 01030
Telephone (413)786-4767 | FAX (413)786-4821

Eric P. Gillis
Chief of Police



To: Planning Board
From: Sergeant Brian Machos- Safety Officer
Date: May 12, 2025
Re: 223 Garden Street

I have reviewed the proposed addition to the existing building located at 223 Garden Street in Agawam. At this time, I do not have any concerns related to vehicle and/or pedestrian traffic at this location.



Town of Agawam
Inspection Services Department
1000 Suffield Street, Agawam, Massachusetts 01001
Telephone - (413) 821-0632

Kevin Duquette
Inspector of Buildings
inspections@agawam.ma.us

April 28, 2025

To: Office of Planning and Community Development:

Re: Site Plan Review Comments- 223 Garden Street Feeding Hills, MA- Vermette Auto Body:

Inspection Services has no zoning issues or concerns at this time for the proposed Site plan dated April 15, 2025 for the above referenced address.

Respectfully,

Kevin Duquette

Kevin Duquette
Inspector of Buildings
Town of Agawam

Agawam Planning Board June 5, 2025

MEMBERS PRESENT:

Violet Baldwin, Chair
Frank DeStefano, Vice Chair
Michael DiLullo
Michael Cleavall

MEMBERS ABSENT:

Charles Elfman

ALSO PRESENT:

Taryn Egerton
Stefanie Kesecker

Ms. Baldwin called the meeting to order at 6:00pm.

1. SITE PLAN-404 Silver Street Energy Storage, LLC c/o New Leaf Energy

Chair Baldwin opened the meeting and stated the Planning Board has not received Engineering comments or Fire Department comments, so the plan cannot be voted upon, until all professional comments have been received and satisfied.

Eric Weinstein with New Leaf Energy and Melinda Costello with Weston & Sampson were present for this agenda item. Mr. Weinstein stated April 22, 2025 the City Council approved the Battery Energy Storage System (BESS) Ordinance. April 29, 2025 a team meeting was held with Department Heads, and on May 28, 2025 the Mayor and the Fire Chief held an informational meeting on BESS for the community.

He stated New Leaf Energy is a leader in developing new solar scale projects in Massachusetts. He stated the purpose of this BESS is to facilitate storage of energy when it is generated and dispatched on the electrical grid during peak times of need. He stated the BESS stores energy during the day through sunlight and at night through the wind.

He stated the proposed project is screened by natural vegetation from all public ways and abutters, and is near the electrical grid. The project will be placed in a previously disturbed location and there are not environmental concerns in the scope of the work area.

He stated the footprint of the project is ½ acre and is located in Business A and Agricultural Zoned. He went on to say the State has allowed BESS by right. He stated the point of connection will be at the street and is .8 miles from the BESS to the power grid. He stated this is a Tier 2 BESS per Agawam's ordinance.

Chair Baldwin asked Mr. Weinstein to show the screening for the abutters. Mr. Weinstein pointed out the screened areas, which showed screening on all sides. Ms. Baldwin asked if the project area would have any gates. Mr. Weinstein stated there would be a gate at the project area. Ms. Baldwin asked the size of the footprint of the installation. Mr. Weinstein stated it was an area of ½ an acre. Mr. DiLullo asked if that ½ acre was the entirety of the proposed project. Mr. Weinstein stated yes and the space of the pad is just under 7,000 sq. ft.

Mr. DeStefano asked if everything was going to be run underground. Mr. Weinstein stated the lines will be run underground through trenches and there will be poles at the street, similar to regular utility poles. Mr. DeStefano asked if there would be increased traffic to the site. Mr.

Agawam Planning Board June 5, 2025

Weinstein stated traffic would be minimal, just operation and maintenance workers a few times a year.

Ms. Baldwin asked if the project would be enclosed by a fence. Mr. Weinstein stated yes there will be a fence with gates and the use of an existing driveway.

Mr. DiLullo asked how far back from the street was the proposed project. Mr. Weinstein stated it was 440 ft. from the residence to the project and there is 500 ft. frontage.

Mr. Cleavall asked if the land would be leased from a resident or a business owner. Mr. Weinstein stated a resident who lives on the property.

Ms. Baldwin opened the meeting for public comment.

John O'Donnell-338 Silver Street-stated there was a stream in the back of the property. Mr. Weinstein stated there is a stream in the rear of the property, but it is not where the project will be located. Mr. O'Donnell pointed out it is a residentially zoned and he thinks the Planning Board should take a ride by the location. He went on to say no one wants this BESS near their homes.

Ms. Baldwin asked how far the project was to the nearest neighbor. Mr. Weinstein stated 440 ft.

Lauren Malone-338 Silver Street-stated she is concerned about the frontage, because this is where she enters her property. She is also concerned about the trenches that are being dug as well as wires at the street connection. Mr. Weinstein stated the electricity would come off the telephone poles on the street and would be buried underground. Ms. Malone stated this proposed project will devalue her property.

Melinda Costello, Weston & Sampson stated the proposal has an existing gravel drive, and existing pole and a 7 new poles will be added at the front and they are utility sized poles. Ms. Malone asked if they had a picture of the poles. Mr. Weinstein stated no, but they would be a standard electric utility pole. Ms. Malone stated Eversource owns property on Silver Street and it makes more sense to put this proposed project there. She asked if there was a required distance away from other properties. Mr. Weinstein stated this proposed plan follows the Town's BESS ordinance.

Nicole Dugan-236 Adams Street-stated she was concerned about the grading estimates towards the lake and river. She stated if there is a fire she assumes they would have to spray around the fire. She stated the containments could leak into the ground and into the water. Ms. Costello stated the grading of the site slopes to the north. She stated there is minimal grading and a perimeter infiltration fence to capture any runoff associated with stormwater from the pad. Ms. Dugan stated the runoff then will go to the stream, and eventually into the lake. Ms. Costello stated the general topography of the land slopes to the north. Ms. Dugan asked if the EPA had been notified. She stated if a fire occurs people will be displaced from their home due to noxious fumes. Mr. Weinstein stated the large fire in California and New York that were on the news were much larger BESS facilities and all had air quality monitoring during the fire and there were no violations or toxic gases that affected breathing. He stated the fires are very rare and California EPA did a lot of testing around the site of the fire. He stated the batteries they are proposing are made from different materials that have a higher thermal capacity and do not

Agawam Planning Board June 5, 2025

contain the metals the batteries in California did. Ms. Dugan stated these BESS can also spontaneously combust.

Mr. DiLullo stated the Fire Department has to vet the information submitted from the applicant before this Site Plan can receive approval. He stated the proponent had submitted an over 400 page document that the Fire Department is in the process of reviewing.

Laura Bolton-Westfield-she stated Springfield and surrounding areas already have high asthma, and this proposal will increase breathing problems. She stated the topography here is low. She stated the toxic fumes and heavy metals will stay in the area. She also stated this site has the potential for fires. She also brought up the BESS fire in California that burned for 5 days. She stated scientists found toxic contaminants into the soil. She stated all the local towns are connected to the Connecticut River. She stated these fumes could be trapped in the valley, but could also travel between 35 to 50 miles. She asked who was going to take the responsibility. She went on to say clean energy should not pose a risk to residents in the community. She stated everyone should have a right to clean air, soil, and water. She also stated this will devalue properties in the area.

Mark Delnegro-28 Losito Lane-asked about the sound ordinance. Mr. Weinstein stated there is a sound level in the ordinance. He stated the BESS are quiet and make less noise than an ac unit.

Edward Dugan-236 Adams Street-asked what is the benefit for the Town. Mr. Weinstein stated the proponent would be paying taxes as well as being a renewal energy source that doesn't rely on carbon emissions. Mr. Weinstein stated the batteries will store energy and transfer it back to the grid during peak times. Mr. Dugan stated no one here will receive a discount on their electric bill, and no one in Town is getting a benefit. Mr. Dugan asked if the landowner lives in Town. Mr. Weinstein stated the landowner lives on the property and is a life-long resident of Agawam.

Elizabeth Perry-24 Mountainview Street-wanted to know how close to her residence this proposed project was. Mr. Weinstein stated it is 2 parcels away, so over 500 ft. She asked if she would be able to see the BESS. Mr. Weinstein stated there is a vegetative buffer around the project. Ms. Perry stated in the winter there would be no buffer.

Nicholas Dion-325 Adams Street-asked who created the compartments. Mr. Weinstein stated they were a developer, but they do not create the storage units. Mr. Dion asked about the collective output. Mr. Weinstein stated the system is 5 mega as a whole and operates for 4 hours. He stated a lot of the fires were substations that were 40 megawatts. Mr. Dion stated these batteries are susceptible to heat and there could be fire. Mr. Dion asked what would keep the batteries cool. Mr. Weinstein stated there is a liquid cooling system during hot temperatures and a heating system for the winter time and is controlled by a computer that monitors the BESS. Mr. Dion asked who will benefit from this. Mr. Weinstein again stated the Town will benefit, and the grid will benefit, as well as moving away from carbon emissions. He also stated this grid station on Silver Street is one of the worst performing circuits, which is one of the reasons this site was chosen. Mr. Dion stated he is concerned this technology is not ready yet.

Agawam Planning Board June 5, 2025

Ruth Perry-24 Mountainview Street-stated she lives 2 minutes away from this proposed project and there are a lot of people and a lot of kids in the neighborhood. She stated she is concerned about fires, especially with the high winds we have experienced lately.

Jean Wilson-East Hampton-wanted to know about the distance between the utility poles. Mr. Weinstein stated it will be similar to the size and placement of other utility poles. She also questioned who would be liable should people not be able to breath or work. She stated it only takes a spark to start a fire.

Stanley Bates-672 North Westfield Street-Mr. Bates asked if this Site Plan will be approved at the next meeting. Chair Baldwin stated the Planning Board is still waiting on the Fire and Engineering Department comments and approval before the Board can proceed. Mr. Bates brought up the environmental concerns. Ms. Egerton advised again that this development seems to be outside the 200 ft. area of jurisdiction for the Conservation Commission. Mr. Bates stated he is concerned of the environmental aspect of contaminants getting into the stream.

Chair Baldwin stated the proponent has to get approved from NHESP for a turtle protection plan. An ANR will need to be submitted to split the lot. A decommission bond, proof of liability insurance, a final copy of the Fire safety compliance plan, and emergency operational plan, will need to be submitted.

City Councilor Smus was present and stated the Town constructed the ordinance once the State made this a right for anyone in Massachusetts. He stated the City Council did a good job adding extra steps and safety measures to create the Ordinance.

Robert Pelley-404 Silver Street-A letter was read into the record from the landowner. He stated he had lived in Agawam for 69 years and is excited to use the rear portion of his property to help the Town as well as transitioning to energy without carbon emissions.

Motion was made by Mr. DeStefano and seconded by Mr. DiLullo to continue the SITE PLAN-404 Silver Street Energy Storage, LLC c/o New Leaf Energy to the July 2, 2024 meeting.

VOTE 4-0-0

2. SITE PLAN-824 Suffield Street-CKT Partnership, LLC

Khoa Nguyen-115 Lenny's Way, West Springfield-was present for this agenda item. He stated they would not be doing any building or addition, but will use the current facility to create an ice cream shop. He stated there will be a canopy, fencing, and bollards.

Chair Baldwin stated her concern would be for pedestrian safety, which the Safety Officer also expressed concern about. She went on to say this is a busy area with lots of traffic and cars. She stated there needs to be and markers to direct people. She stated the Fire Department had stated the fire suppression system from the old gas station would need to be taken down or maintained. Mr. Cleavall and Mr. DeStefano echoed the Chair's concerns about pedestrian safety. Mr. Nguyen stated there will only be one entrance and they will have a canopy and fencing around

Agawam Planning Board June 5, 2025

the location. Once people enter the canopy they will remain inside it. He stated he was amenable to signage and markings, and would work with the Fire Department in regards to the suppression system.

Mr. DiLullo asked how big the canopy would be. Mr. Nguyen stated the canopy will be 48x34. Mr. DeStefno suggested a sidewalk crossing marker to slow down some of the traffic.

Motion was made by Mr. Cleavall and seconded by Mr. DeStefano to approve the SITE PLAN-824 Suffield Street-CKT Partnership, LLC, conditional upon the following: the Fire Suppression system must be removed by a 3rd party fire suppression company, permitted by the Agawam Fire Department, as per Fire Department comments from correspondence dated June 5, 2025. Pedestrian crossing pavement markings and “watch for pedestrians” signs shall be implanted as per Safety Officer comments dated June 2, 2025. The Planning Board requests exact notification to the exact location of the pavement markings and signs. The applicant must work with Engineering Department regarding the handicap assessable parking spaces, as per the memo dated June 5, 2025. Building, plumbing, and electrical permits will be required and safety bollards and perimeter guardrail fencing will need to be installed prior to a certificate being issued for the completion of the project, as per Inspection Services comments dated May 30, 2025.

VOTE 4-0-0

3. SITE PLAN-223 Garden Street-MBNZ Holding Co.

The Planning Board received a request to continue this agenda item to the July 2, 2025 meeting.

Motion was made by Mr. Cleavall and seconded by Mr. DiLullo to continue the SITE PLAN-223 Garden Street-MBNZ Holding Co., to the July 2, 2025 meeting as requested.

VOTE 4-0-0

Motion was made by Mr. Cleavall and seconded by Mr. DeStefano to take the agenda out of order.

VOTE 4-0-0

6. Sign Plan-6 & 24 Ace Precision Way-TGE Realty, LLC

The applicant Mr. Sadiq Elias was present for this agenda item. He stated the building permit is only for lot 3. He stated Engineering Department had shown an area of erosion concern. He would like to do a retaining wall, to prevent erosion for lot 3.

Mr. DiLullo asked how much traffic at night. Mr. Elias stated the last worker leaves around 6:30pm. Mr. Elias stated the row of arborvitae will also be extended.

Motion was made by Mr. DiLullo and seconded by Mr. Cleavall to sign the revised plans for 6 & 24 Ace Precision Way.

Agawam Planning Board June 5, 2025

VOTE 4-0-0

Motion was made by Mr. Cleavall and seconded by Mr. DeStefano to put the agenda back in order.

VOTE 4-0-0

4. FORM A-643 Mill Street-Richard

Ms. Baldwin stated all professional staff has been received and have been satisfied. Ms. Egerton showed the map of the two parcels.

Motion was made by Mr. DeStefano and seconded by Mr. DiLullo to approve the ANR plan-643 Mill Street under "Subdivision Control Law Not Required."

VOTE 4-0-0

5. Request to Extend Performance Agreement-Samuel Street

The Planning Board Received a letter from Mr. Calabrese requesting to extend this Performance Agreement for 4 months, to November 2, 2025.

Motion was made by Mr. Cleavall and seconded by Mr. DiLullo to extend the Performance Agreement to November 2, 2025, as requested.

VOTE 4-0-0

7. APPROVAL OF MINUTES-May 15, 2025

Motion was made by Mr. DiLullo and seconded by Mr. Cleavall to approve the May 15, 2025 minutes, as written.

VOTE 4-0-0

8. Correspondences

None

Motion was made by Mr. DeStefano and seconded by Mr. DiLullo to adjourn the meeting.

VOTE 4-0-0

Meeting adjourned at 7:45pm

DRAFT